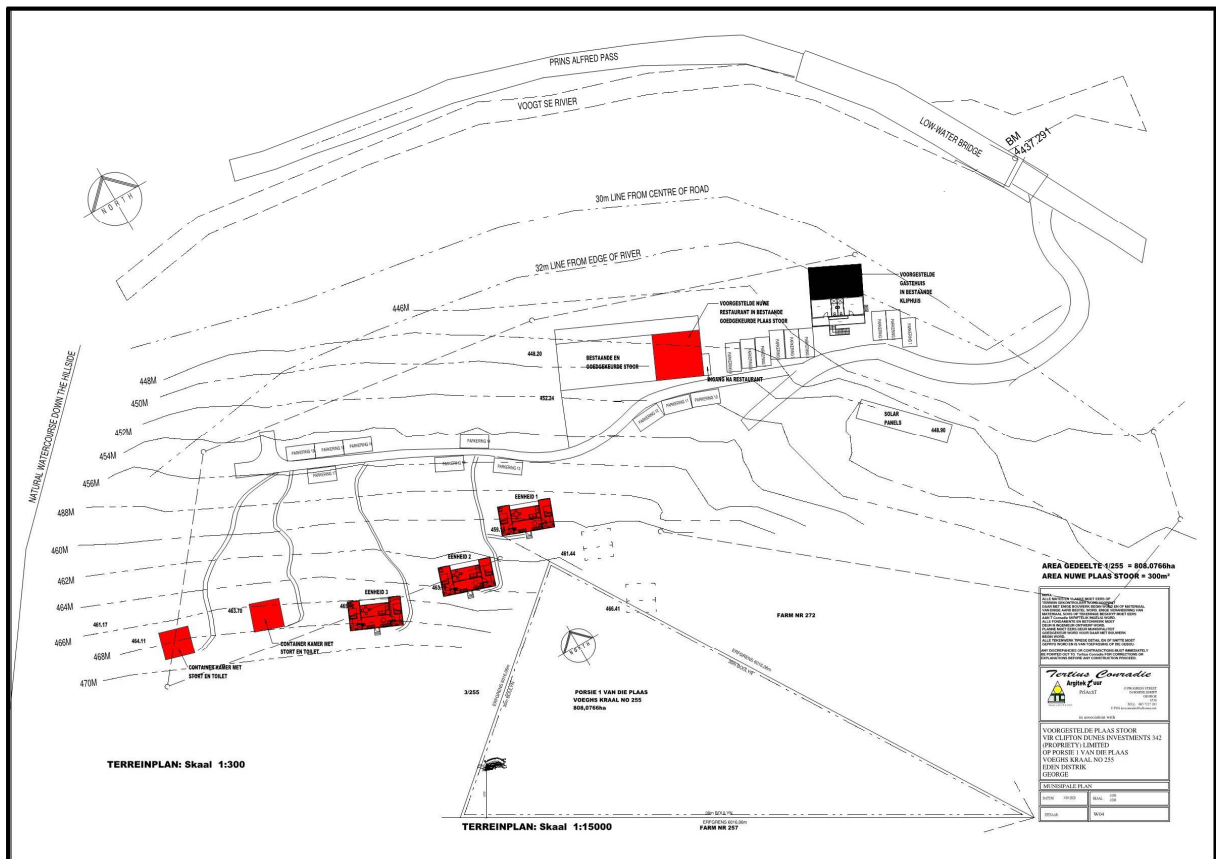


MOTIVATION REPORT : APPLICATION FOR CONSENT USE (GUESTHOUSE, ADDITIONAL DWELLING UNITS AND TOURIST FACILITY): PORTION 1 OF THE FARM VOEGHS KRAAL 255

18 June 2021



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MOTIVATION REPORT : APPLICATION FOR CONSENT USES (GUESTHOUSE, ADDITIONAL DWELLING UNITS AND TOURIST FACILITY): PORTION 1 OF THE FARM VOGHS KRAAL 255

1. BACKGROUND

Margaretha Brauer, as sole shareholder of Clifton Dunes Investments 342 (Pty) Ltd, bought Portion 1 of the Farm Voeghs Kraal 255 and the Farm Lower Kwaai River 272.

The well-known Prince Alfred Pass runs through the abovementioned Farm Voeghs Kraal 255. An old farmhouse is currently the only building on both the two abovementioned properties. Portion 1 of the Farm Voeghs Kraal 255 is known as Voor De Poort and situated between De Vlught and the Farm Voogt Se Kraal. The area is surrounded by mountains and in the heart of the well-known Prince Alfred Pass.

The zoning of both farms is Agriculture Zone I.

It was initially the owner's intention to develop two additional dwelling units, tourist facilities, a farm shop, a function venue and eight luxury tents which would have been used as holiday accommodation units on a portion of Portion 1 of the Farm Voeghs Kraal 255. The total of proposed area affected by the development proposal (including the old farmhouse) would have been 0.9782 hectare. It was the intention of the owner to develop a place where tourists can relax, have something to eat and appreciate the beauty of this unspoiled mountainous area.

The Covid-19 pandemic has however had a very negative impact of tourism in general and the owner is of the opinion that it will take some time for the tourism market to normalize and for tourist facilities to become economically viable again.

With this in mind the owner has decided to scale down there development proposal to allow for a development which can be feasibly developed and operated in the present tourism climate. The revised proposal is discussed in point 2 in this report.

The focus of the development will however still be to play its part in the conservation of the biodiversity of the area. According to the Cape Action Plan for People and the Environment (C.A.P.E.), one of the overarching themes is to promote sustainable eco-tourism. This will be the guideline for the proposed development on the farm and the aim will be to avoid any negative impact on biodiversity and ecological aspects of the receiving environment. Working with Cape Nature and other role players will be central in the detailing of this development. This will involve the clearing of alien species as well as fire management.

2. DEVELOPMENT PROPOSAL

It is still the intention of the owner of Portion 1 of the Farm Voeghs Kraal 255 to develop a place where tourists can stay overnight, relax, have something to eat and appreciate the beauty of this unspoiled mountainous area.

An old farmhouse and a steel shed are at present the only buildings on the property.

The old farmhouse featured stone walls, a corrugated metal roof and a later addition of a wooden first storey. It has been a landmark for travelers through the Prince Alfred Pass. The farmhouse is situated about 8m above the level of the little stream called Voogt Se Rivier and is tucked away between the trees and horizontally about 24m from the edge of the river.

The old farmhouse has since been renovated. A permit was required from Heritage Western Cape in terms of which permission was granted to make alterations and additions to the old farmhouse. A copy of the permit issued by Heritage Western Cape with the building plan of the farmhouse attached thereto is attached hereto as **Annexure "A"**.

The farmhouse consist of two storeys with the ground floor having a floor area of approximately 118m² and the upper floor a floor area of approximately 44m². The old farmhouse does thus have a floor area of approximately 162m². The farm house consists on ground floor of an open plan kitchen/dining room area, lounge, two bedrooms and two bathrooms. The upper floor consists of two bedrooms each with their own bathroom. A timber deck with a floor area of approximately 17m² completes the old farm house. The following photo indicates the renovated old farmhouse.



It is the intention of the owner to use the ground floor of the farmhouse for their own purposes whilst the upper two rooms will be used as guestrooms. It is further more the intention to develop two outside rooms in the position as indicated on the site plan which is attached hereto as **Annexure “B”**. The two outside rooms will have a size of 20m² each and will consist of a bedroom and a small bathroom. A typical plan for the outside rooms is attached hereto as **Annexure “C”**. The two outside rooms will be used as guestrooms as an integral part of the old farmhouse. A guesthouse consisting of two inside rooms and two outside rooms is thus proposed.

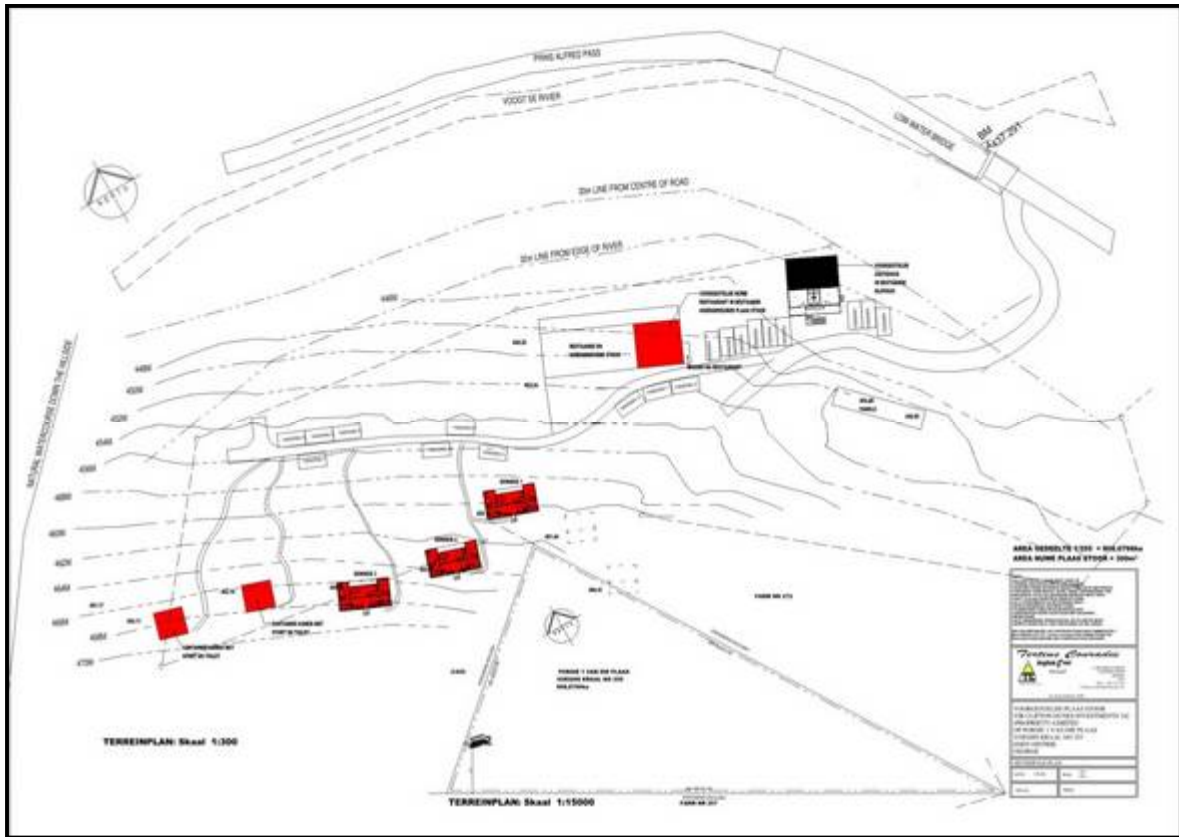
A shed with a total floor area of 300m² has been erected to the adjacent to the west of the old farmhouse. It is the intention to convert a portion of the shed with a floor area of approximately 102m² into a tourist facility (restaurant) where meals will be served to overnight guests as well as passing tourists. The floor plan of the shed is attached hereto as **Annexure “D”**.

The photo below gives an indication of the shed that has been erected on the erf.



Three additional dwelling units will be developed. The additional dwelling units will have a floor area of 60m² each and each will consist of 2 en-suite bedrooms and a lounge / dining room / kitchen area. Each additional dwelling unit will have its own parking space. The three additional dwelling units will be used as an extension of the guesthouse as overnight accommodation units. The proposed floor plan for the three additional dwelling units is attached hereto as **Annexure “E”**.

The position of all the existing and proposed buildings is indicated on the site plan below which is also attached hereto as **Annexure “B”**.



In terms of the development proposal there will be a 32 metres buffer between the edge of the proposed development and Voogt Se Rivier which runs alongside the Prince Alfred Pass gravel road. Utmost care will be taken to ensure that the development has no effect on this river. There will furthermore be a 30 metres road buffer between the edge of the proposed development and Prince Alfred Pass gravel road.

3. APPLICATION

The following applications were submitted to allow for the development as originally proposed:

- *An application in terms of Section 15(2)(a) of the Land Use Planning By-Law for the George Municipality, 2015 for the rezoning of a portion of Portion 1 of the Farm Voeghs Kraal No 255 marked Portion A ($\pm 3\,024\text{m}^2$) on drawing number 0194 – SDP – 02 attached hereto as Annexure “A” from Agricultural Zone I to Resort Zone to accommodate a tented camp area consisting of 8 luxury tents.*

- *An application in terms of Section 15(2)(o) of the Land Use Planning By-Law for the George Municipality, 2015 for the consent of the George Municipality to allow for the following consent uses on a portion of Portion 1 of the Farm Voeghs Kraal No 255 marked Portion B (± 6 758m²) on drawing number 0194 – SDP – 01 attached hereto as Annexure “B”:*
 - ⇒ *two additional dwelling units;*
 - ⇒ *a function venue;*
 - ⇒ *farm shop; and*
 - ⇒ *tourist facilities (Country kitchen restaurant, restrooms and a gift shop).*

- *An application in terms of Section 15(2)(l) of the Land Use Planning By-Law for the George Municipality, 2015 for the approval of Site Development Plan 0194 – SDP - 01 dated Feb 2019 attached hereto as Annexure “C”.*

The application as submitted on 3 June 2019 will thus have to be amended to allow for the new development proposal as set out in point 2 above.

Section 52(1) Land Use Planning By-Law for the George Municipality, 2015 states as follows:

“52.(1) An applicant may amend his or her application at any time before the approval of the application —

- (a) at the applicant’s own initiative;*
- (b) as a result of an objection, comment or representation submitted during the notice process; or*
- (c) at the request of the Municipality.”*

Application is hereby made in terms of Section 52(1) of the Land Use Planning By-Law for George Municipality, 2015 for the amendment of the applications as submitted on 3 June 2019 as follows.:

- Application is made in terms of Section 15(2)(o) of the Land Use Planning By-Law for the George Municipality, 2015 for the consent of the George Municipality to allow for the following consent uses on a portion of Portion 1 of the Farm Voeghs Kraal No 255
 - ⇒ guesthouse consisting of two inside and two outside loose standing guestrooms;
 - ⇒ three additional dwelling units which will be used for overnight accommodation purposes; and
 - ⇒ a tourist facility (restaurant).

The completed application form for the amended application is attached hereto as **Annexure “F”**.

4. PRE-APPLICATION CONSULTATION

A pre-application consultation was conducted on 28 January 2019 with the George Municipality. The completed pre-application consultation form with the municipal comments on the proposal is attached hereto as **Annexure “G”**. As the land uses proposed in terms of the amended application were all included in the original application no new pre-application was submitted for the amended application.

5. OWNERSHIP

5.1 Registered owner

Portion 1 of the Farm Voeghs Kraal 255 is registered in the name of Clifton Dunes Investments 342 (PTY) Ltd Registration Number 2005/037594/07

5.2 Title Deed

Title Deed T37160/2006, the Title Deed of Portion 1 of the Farm Voeghs Kraal 255 is attached hereto as **Annexure “H”**.

5.3 Power of Attorney

A Power of Attorney, whereby Jan Vrolijk Town Planner/Stadsbeplanner is appointed by Margaretha Brauer as the Sole Shareholder of Clifton Dunes Investments 342 (PTY) Ltd Registration Number: 2005/037594/07 to prepare the applications referred to in point 2 of this motivation report and to sign all relevant documents is attached hereto as **Annexure “I”**.

A Company Disclosure Certificate is attached hereto as **Annexure “J”**.

5.4 Bondholder's consent

There is no bond registered over Portion 1 of the Farm Voeghs Kraal 255.

5.5 Conveyancer Certificate

A Conveyancer Certificate for Portion 1 of the Farm Voeghs Kraal 255 is attached hereto as **Annexure “K”**.

6. GENERAL INFORMATION REGARDING PORTION 1 OF THE FARM VOEGBS KRAAL 255

6.1 Locality

Portion 1 of the Farm Voeghs Kraal 255 is located in the Prince Alfred Pass with Main Road R339 which runs through the property. The property is known as “Voor De Poort” and is situated between De Vlught and the farm Voogt Se Kraal.

An aerial photo showing the locality of the property in its wider context is attached hereto as **Annexure “L”**. The locality of Portion 1 of the Farm Voeghs Kraal 255 is indicated on the Locality Plans which are attached hereto as **Annexure “M”**. This locality plan also indicates the locality on the property where the proposed development will take place.

5.1 Existing land use

The existing land uses that exists on the property consists of a farmhouse and a shed. Details with regards the two buildings are provided in point 2 above. The remainder of the property has a mountainous character which is not used for any purpose.

5.2 Size

Portion 1 of the Farm Voeghs Kraal 255 has an area of 808.0766 hectare.

5.3 Present zoning

In terms of the George Integrated Zoning Scheme By-Law, 2017 Portion 1 of the Farm Voeghs Kraal 255 is zoned Agricultural Zone I.

5.4 Surveyor General Diagram

A Surveyor General Diagram of Portion 1 of the Farm Voeghs Kraal 255 is attached hereto as **Annexure "N"**.

5.5 Servitudes

There are no servitudes registered over the portion of Portion 1 of the Farm Voeghs Kraal 255 which is to be developed.

7. DESIRABILITY OF APPLICATION FOR CONSENT USES

7.1 Introduction

The term "desirability" in the land use planning context, may be defined as the degree of acceptability of the land use(s) on the land units concerned. The desirability of the intended land use change should be discussed with reference to the aspects listed below.

- Physical characteristics of the site.
- The proposed main land uses.

- The compatibility of the proposal with existing planning documentation, spatial frameworks, legislation and policies.
- The compatibility of the proposal with the character of the surrounding area.
- Potential of the site.
- Accessibility of site.
- Availability of parking.
- Provision of services.

It will be indicated in the following paragraphs that the proposal will be regarded as being desirable as far as the mentioned aspects are concerned.

7.2 Physical characteristics of the property

7.2.1 Topography

As can be seen from the contours on the site development plan the portion of Portion 1 of the Farm Voeghs Kraal 255 which is to be developed in accordance with the development proposal forms a fairly flat area with a slight downward slope in a north eastern direction towards the Voogt se Rivier and Route 339. The farmhouse is situated about 8m above the level of Voogt Se Rivier and the farmhouse and the development area is horizontally about 24m from the edge of the river. The proposed new development will be 30m away from the road and 32m from the edge of the river.

Site preparation earthworks will be planned to have the least impact and best civil engineering practice applied to minimize the impact on the environment. Cut and fill will be kept to the minimum.

7.2.2 Surface conditions

An un-rehabilitated abandoned borrow pit is located on the south eastern corner of the area to be developed. The existing borrow pit will be stabilized and rehabilitated.

Little is however known about the soil conditions and the necessary soil tests will be

undertaken before any construction of buildings will be undertaken.

7.2.3 Hydrology

Because of the elevation of the development site above the Voogt se Rivier there is good water drainage and the effect of the water table is considered insignificant.

7.2.4 Flora

In general the aim will be to retard storm water discharge and to minimize the loss of indigenous seed banks and soil. All existing indigenous trees will be identified and will not be removed. The area of the proposed development has been almost totally invaded by alien trees like black wattle. These trees will be removed, but the eradication of alien trees will be phased to have the least possible visual impact on the area of the new development. In general the area will be rehabilitated by the planting of indigenous trees and fynbos in consultation with Cape Nature. No commercially available seed will be used as such seeds may contain other undesirable seed, which may compete with the survival rate of fynbos seedlings. Control of erosion and stabilization of river banks will be a priority.

7.2.5 Fauna

During a site inspection, no animals of significance were observed. The density of development in this particular area is low and the wildlife corridors for faunal movement occur naturally on the slopes on various gradients in both south-northerly directions and east-westerly directions across adjacent properties. Various reptiles and birds may occur, but the impact of the development proposal on these is considered to be of no significance, given the small area that will be covered by the development proposal.

7.2.6 Conclusion

No sensitive biophysical elements are present where the activities will take place and no critically endangered vegetation or trees will need to be removed to allow for the proposed development. The physical characteristics of Portion 1 of the Farm Voeghs Kraal 255 have

thus been taken into account in the determination of the position of the various structures to be erected on the property.

7.3 Proposed land uses

In terms of the development proposal the farmhouse will be used as a two bedroom guesthouse with a further two outside rooms which will form part of the guesthouse. It is furthermore proposed to develop three additional dwelling units and a tourist facility (restaurant) as consent uses on a portion of the property which is to retain its present Agriculture Zone I zoning.

7.4 Density of proposed development

In terms of the George Integrated Zoning Scheme Regulations Portion 1 of the Farm Voeghs Kraal 255 is zoned Agricultural Zone I a zoning which permits additional dwelling units as a consent use.

“Additional dwelling unit” is a dwelling unit that may be erected on an agricultural land unit with the consent of the Municipality, in addition to a primary dwelling house or agricultural worker accommodation for bona fide agricultural workers, or both, provided that —

- (a) one additional unit can be allowed in all cases as a consent use, irrespective of the size of the agricultural land unit;*
- (b) further additional dwelling units can be allowed at a ratio of one additional dwelling unit per 10 ha, calculated on the basis of all additional dwelling units on the agricultural land unit, up to a maximum of five (5) additional dwelling units per agricultural land unit;”*

Portion 1 of the Farm Voeghs Kraal 255 has an area of 808.0766 hectare and in terms of the size the three proposed additional dwelling units can thus be allowed with the consent of the George Municipality.

The existing density of the property is therefore increased due to the proposed 3 additional dwelling units. However, the density is still within the normal limits that are permissible on an

Agricultural Zone I zoned property. No undesirable precedent will therefore be set as far as density is concerned.

7.5 Compatibility of development proposal with existing planning documentation and policies

7.5.1 Introduction

Different planning documents apply to the application and the desirability/reconcilableness of the application with regard to each of these documents will subsequently be discussed.

7.5.2 Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013) (SPLUMA)

Section 7 of the "Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)" lists 5 development principles which must be applied when any development application is to be evaluated. The principles referred to are as follows:

- “Spatial justice”;
- “Spatial sustainability”
- “Spatial efficiency”
- “Spatial resilience”; en
- “Good administration”.

Different development principles are identified under each of the 5 abovementioned principles which must be applied when a land use application is to be evaluated. The proposed application for the various consent uses will subsequently be evaluated in terms of each of the principles.

Spatial justice		
Criteria	Compliance	Planning Implication

<p>Past spatial and other development imbalances must be redressed through improved access to and use of land.</p>	<p>Not applicable</p>	<p>This principle is not applicable to the application</p>
<p>Spatial development frameworks and policies at all spheres of government must address the inclusion of persons and areas that were previously excluded, with an emphasis on informal settlements, former homeland areas and areas characterised by widespread poverty and deprivation.</p>	<p>Not applicable</p>	<p>This principle is not applicable to the application</p>
<p>Spatial planning mechanisms, including land use schemes, must incorporate provisions that enable redress in access to land by disadvantaged communities and persons.</p>	<p>Not applicable</p>	<p>This principle is not applicable to the application</p>
<p>Land use management systems must include all areas of a municipality and especially include provisions that are flexible and appropriate for the management of disadvantaged areas, informal settlements and former homelands areas.</p>	<p>Not applicable</p>	<p>This principle is not applicable to the application</p>
<p>Land development procedures must include provisions that accommodate access to secure tenure and incremental upgrading of informal areas.</p>	<p>Not applicable</p>	<p>This principle is not applicable to the application</p>
<p>A Municipal Planning Tribunal, considering an application before it, may not be impeded or restricted in the exercise of its discretion solely on the ground that the value of land or property is affected by the outcome of this application.</p>	<p>Not applicable</p>	<p>As far as is known, the Eden Joint Planning Tribunal – George Municipality's discretion when considering applications is not affected by the value of land or property. Decision making is, as far as is known, based on the principles, as stated in Section 7 of the Spatial Planning and Land Use Act, 2013 (Act 16 of 2013).</p>

Spatial sustainability		
Criteria	Compliance	Planning Implication
Promote land development that is within the fiscal, institutional and administrative means of the Republic.	Comply	The proposed development will have no impact on the fiscal, institutional and administrative capabilities of the George Municipality. The George Municipality's income base will in fact be broadened through this development proposal.
Ensure that special consideration is given to the protection of prime and unique agricultural land.	Comply	Portion 1 of the Farm Voeghs Kraal 255 is at present zoned Agricultural Zone I. Although the property has a size of 880, 0766 hectare it has never been used for agricultural purposes because of the mountainous character of the property. The area that will be developed furthermore represents less than 0.001% of the total area of the farm. The development area is as such minuet in relation to the remainder of the farm. The proposal will thus in no way lead to a loss in productive and unique agricultural land.
Uphold consistency of land use measures in accordance with environmental management instruments.	Comply	The revised development proposal does not trigger any environmental activities listed in terms of National Environmental Management Act, 1998 (Act 107 of 1998).
Promote and stimulate the effective and equitable functioning of land markets.	Comply	The size of the Portion 1 of the Farm Voeghs Kraal 255 and the location of the proposed development area within the bigger farm is such that the proposal will have no effect on any adjoining property. The proposal will as such have no impact on the property values of any adjoining property.
Consider all current and future costs to all parties for the provision of infrastructure and social services in land developments.	Comply	The required infrastructure for the proposed development will be provided by the owners at their costs. The proposal will thus not result in infrastructure costs to any external

		parties.
Promote land development in locations that are sustainable and limit urban sprawl; and result in communities that are viable.	Comply	The Prince Alfred's Pass is one of the most stunning passes in the Garden Route and it is considered a wonderful alternative drive between the coast and the Klein Karoo as it takes one over some of the most beautiful and unspoilt mountain scenery South Africa has to offer. The tourist related development that is proposed is a land use which can be associated with the uniqueness associated with the Prince Alfred Pass is as such not considered to be a land use which gives rise to urban sprawl. The extent of this development proposal is furthermore of such a limited nature that it will not give rise to any urban sprawl.
Result in communities that area viable.	Comply	The proposed development will have a positive effect on the economy of the area as a number of jobs will be created which will result in the families of the workers becoming more self-sufficient. The George Municipality will also derive revenue from the development, revenue that can be used to improve the quality of life of the George residents in general.

Spatial efficiency		
Criteria	Compliance	Planning Implication
Land development optimises the use of existing resources and infrastructure.	Comply	The provision does not apply to applications as there is no infrastructure on the property.
Decision-making procedures are designed to minimise negative financial, social, economic or environmental impacts.	Comply	From the content of this motivation report, it is clear that the proposed development will not have a negative financial, social, economic or environmental impact.

<p>Development application procedures are efficient and streamlined and timeframes are adhered to by all parties.</p>	<p>Comply</p>	<p>The municipality has procedures in place which will see to it that the application is processed within the prescribed time frames of the George Municipality: By-law on Land Use Planning, 2015. This application has been prepared in accordance with the provisions of the By-Law and the application will therefore be dealt with and considered in accordance with the time frames as prescribed.</p>
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<p style="text-align: center;">Spatial resilience</p>		
<p>Criteria</p>	<p>Compliance</p>	<p>Planning Implication</p>
<p>Flexibility in spatial plans, policies and land use management systems are accommodated to ensure sustainable livelihoods in communities most likely to suffer the impacts of economic and environmental shocks.</p>	<p>Not applicable</p>	<p>The old farmhouse with the two outside rooms, the tourist facility (restaurant) and the three proposed additional dwelling units that will be used as overnight accommodation are uses that are permitted as consent uses on an Agricultural Zone I zoned property. Additional dwelling units, tourist facilities and guest houses are associated with agricultural areas and therefore fall within the provisions of the George Integrated Zoning Scheme By-Law, 2017.</p>

<p style="text-align: center;">Good administration</p>		
<p>Criteria</p>	<p>Compliance</p>	<p>Planning Implication</p>
<p>All spheres of government ensure an integrated approach</p>	<p>This is general principle that municipalities</p>	<p>Input was received from all spheres of government when the George Spatial</p>

<p>to land use and land development that is guided by the spatial planning and land use management systems as embodied in this Act.</p>	<p>needs to comply with.</p>	<p>Development Framework, 2019, was prepared. An integrated approach, guided by the spatial planning and land use management systems as contained in this Act, was followed in the preparation of framework. Due to the scale of the Development Framework, no specific future development proposals have been made for the specific area. However, the development is compatible with the broad development proposals as contained in the framework.</p>
<p>All government departments must provide their sector inputs and comply with any other prescribed requirements during the preparation or amendment of spatial development frameworks.</p>	<p>This is general principle that municipalities needs to comply with.</p>	<p>Input was received from all spheres of government when the George Spatial Development Framework, 2019, was prepared.</p>
<p>The requirements of any law relating to land development and land use are met timeously.</p>	<p>This is general principle that municipalities needs to comply with.</p>	<p>These principles apply to the application. The point refers to aspects that should be dealt with by the George Municipality. The George Municipality has adopted the George Municipality: Land Use Planning Ordinance, 2015, which prescribes procedures and time frames developers must comply with when submitting land use applications, and which officials must take into account when considering applications. This application has been prepared in accordance with the provisions of the By-Law, and the application will therefore be dealt with and considered in accordance with the time frames as prescribed.</p>
<p>The preparation and amendment of spatial plans, policies, land use schemes as well as procedures for development applications, include transparent processes of public participation that afford all parties the opportunity to provide inputs on matters</p>	<p>This is general principle that municipalities needs to comply with.</p>	<p>These principles apply to the application. The point refers to aspects that should be dealt with by the George Municipality. This application will be advertised in accordance with the provisions contained in the George Municipality: Land Use Planning By - law, 2015. All parties will have the opportunity to participate in the public</p>

affecting them.		participation process and will have the opportunity to provide input on the application.
Policies, legislation and procedures must be clearly set in order to inform and empower members of the public.	This is general principle that municipalities needs to comply with.	These principles apply to the application. The point refers to aspects that should be dealt with by the George Municipality. The George Municipality: Land Use Planning Ordinance, 2015 contains clear procedures that have been put in place to inform and empower members of the public. This application will be subject to these procedures.

As can be seen from the table above, it can be argued that the proposal can be regarded as being compatible with the 5 development principles of SPLUMA.

7.5.3 Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)

In terms of the above Act it is expected of a municipality to consider the compatibility of any development proposal with existing provincial and municipal spatial development frameworks and as well as more detail local spatial frameworks.

Section 19(1) and 19(2) of the Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA) which is relevant to this application reads as follows:

*19(1) If a spatial development framework or structure plan specifically provides for the utilization or development of land as proposed in a land use application or a land development application, the proposed utilization or development is regarded as **complying** with that spatial development framework or structure plan.*

*19(2) If a spatial development framework or structure plan does not specifically provides for the utilization or development of land as proposed in a land use application or a land development application, but the proposed utilization does not conflict with the purpose of the relevant designation in the spatial development framework or structure plan, the utilization or development is regarded as being **consistent** with that spatial development framework or structure plan.”*

The compatibility of the development proposal with existing spatial development frameworks is addressed in points 7.4.4 to 7.4.5 below.

The development principles referred to in Section 59 of LUPA, which should also be taken into account when motivating an application, are directly in line with the principles of SPLUMA which have been discussed in detail in paragraph 7.4.2 above. The comments in paragraph 7.4.2 are thus also relevant as far as Section 59 of LUPA is concerned.

7.5.4 Western Cape Provincial Spatial Development Framework (WC PSDF)

7.5.4.1 Introduction

The Western Cape Provincial Spatial Development Framework (WC PSDF) not only provides for a new spatial development pattern for the Province, but also clearly indicates where development may indeed take place and where not. The ultimate goal is to create a more effective urban environment and preserve the resources of the province.

In terms of the framework, a number of principles are mentioned that spatial planning must comply with, namely spatial justice, spatial sustainability, spatial resilience, spatial efficiency and good administration. The impact of the application on spatial justice, spatial sustainability, spatial resilience, spatial efficiency and good administration has already been fully discussed in section 7.4.2 above, and it has been shown that the proposed development complies with the mentioned principles.

A number of policy statements are also highlighted in terms of the PSDF which must specifically correlate with the mentioned principles. Some of the policies relevant to this town planning application will be addressed in the following sections.

7.5.4.2 Conservation of agricultural land

The WC PSDF contains a specific objective that deals with the conservation of agricultural land and which as such applies to this application. Portion 1 of the Farm Voeghs Kraal 255 is at present zoned Agricultural Zone I. Although the property has a size of 880, 0766 hectare it has

never been used for agricultural purposes because of the mountainous character of the property. The area that will be developed furthermore represents less than 0.001% of the total area of the farm. The development area is as such minuet in relation to the remainder of the farm. The proposal will thus in no way lead to a loss in productive and unique agricultural land.

From the latter it is clear that the proposal will have no effect on the agricultural resources of the province. From this point of view the proposal can thus be regarded as being compatible and in keeping with the guidelines of the WC PSDF.

7.5.4.3 Tourism development

From the extract below it is clear that the WC PSDF recognizes the important role tourism plays within the Western Cape Province.

“By the year 2010 the Western Cape will be recognized as a premier international destination for commerce and tourism based upon achievement of excellence in nature conservation and utilization, preservation of heritage, technological advancement, development of contemporary culture and strength of civic pride.”

The WC PSDF identifies a number of "Tourism Development Areas" and George-Mossel Bay-George is in this document identified as an area with potential for tourist development. According to the WC PSDF tourism plays an important role in the development of the province.

It is the intention to develop a unique, tourist orientated development on the property, to turn this development proposal into a landmark within Prince Alfred Pass and to create a “must stop” tourist attraction a tourist visiting the Southern Cape wishes to visit. It is as such proposed turn this development into one of the places of interest in die Prince Alfred Pass.

Prince Alfred Pass was built between 1860 and 1867 by Thomas Bain and a team consisting of convicts. During those years he stayed in a house he had built at De Vlught with his family. The gravel road he built from Knysna to Avontuur followed a bridle path used in the past by forest elephants and early inhabitants. Prince Alfred’s Pass is one of the most stunning passes in the area and it is considered a wonderful alternative drive between the coast and the Klein Karoo

as it takes one over some of the most beautiful and unspoilt mountain scenery South Africa has to offer. Prince Alfred Pass has as such a unique history and the gravel road full of hairpin bends has become a popular choice for bikers and 4x4 or 4x2 vehicles. The growing consensus in the tourist industry, locally and internationally, is that Prince Alfred Pass is an event, not just a quick drive.

Many of these travelers through the pass want to stop along the way to relax and to have something to eat or for a place to stay over and enjoy the full experience of the pass. The owner of the proposed development would like to become one of the places of interest in the pass that can offer accommodation, meals and a place to relax and enjoy the surroundings.

The proposal will enable the owners to develop guest accommodation that focuses on tourism. The proposal can thus be regarded as being compatible and in keeping with the guidelines of the WC PSDF.

7.5.4.4 Self sufficiency

In terms of the WC PSDF it is also important that any development should be self-sufficient. It states that *“the development needs of the present generations should be met without the ability of future generations to meet their own needs, being compromised.”*

Applied sustainable facilities which will be implemented will achieve optimum resource efficiency and constructability, while minimizing adverse impacts to the built and natural environments through all phases of its life cycle. The applied goals of sustainable development will conserve energy, water and raw materials; prevent environmental degradation caused by construction operations and create a built environment which is livable, healthy, maintainable, and productive.

The owners are as such optimistic that the proposed development will be an economically viable concern. The proposal will therefore not place any burden on the future residents of George or the George Municipality.

The proposed application therefore also meets this requirement of WC PSDF.

7.5.4.5 Additional dwelling units

As has been previously indicated in this motivation report, the three additional dwelling units will not result in the loss of unique or valuable agricultural land.

The WC PSDF states that it must be ensured that current legal controls on agricultural properties be strictly applied. This implies by implications that the provisions of a zoning scheme must therefore also be applied. Additional dwelling units are a consent use on an Agricultural Zone I zoned property and the use is therefore permissible as far as the WC PSDF is concerned.

7.5.5 George Spatial Development Framework, 2019 (GSDF)

Portion 1 of the Farm Voeghs Kraal 255 is located within the study area of the George Spatial Development Framework, 2013 (GSDF) and the framework therefore applies to this application.

The GSDF contains no specific future development proposals as to the area the property is located in that can help determine whether or not this application is compatible with the GSDF.

The George Municipality has however since prepared the Wards 24 and 25 Local Spatial Development Framework, 2015. The desirability of the application should therefore be evaluated on the basis of this spatial development framework. The compatibility of the application with this spatial development plan is discussed in full detail under point 7.4.6 below.

7.5.6 Wards 24 and 25 Local Spatial Development Framework, 2015

In terms of broad strategy contained in this framework the expansion and strengthening of tourism in the area covered by the framework is encouraged. It is furthermore indicated in the framework that that the Prince Alfred Pass forms a historic scenic route which should be promoted. The provision of the proposed facilities in this pass will contribute positively towards the promotion of the pass as an attractive scenic route to drive.

7.5.7 George Integrated Zoning Scheme By-Law, 2017

In terms of the George Integrated Zoning Scheme Regulations Portion 1 of the Farm Voeghs Kraal 255 is zoned Agricultural Zone I a zoning which permits additional dwelling units as a consent use. In terms of the stipulations of the mentioned zoning scheme a guesthouse and tourist facility is also allowed as a consent use on the property.

The proposed land uses are thus permitted in terms of the zoning of the property and no departure is thus required.

7.5.8 Title Deed

Although the title deed of a property is not a planning document, it sometimes still contains conditions which may have an essential impact on the development potential of a property.

The title deed of Portion 1 of the Farm Voeghs Kraal 255 was inspected and contains no conditions prohibiting the develop as proposed.

No problem in this regard is thus foreseen.

7.5.9 Conclusion

From the above mentioned it is clear that the development proposal will comply with the mentioned Planning Polices and Planning Guidelines.

7.6 Compliance with other Acts

7.6.1 National Environmental Management Act, 1998 (Act 107 of 1998)

The development proposal does not trigger any environmental activities listed in terms of National Environmental Management Act, 1998 (Act 107 of 1998). This legislation is therefore not applicable to this application.

7.6.2 National Heritage Resources Act, 1999 (Act 25 of 1999)

As the possibility existed that the old farmhouse was of historic importance the building plans for the renovation of the old farmhouse was submitted to Heritage Western Cape for consideration. A permit was subsequently issued by Heritage Western Cape in terms of which permission was granted to make alterations and additions to the old farmhouse. A copy of the permit issued by Heritage Western Cape is attached hereto as **Annexure “A”**.

The application itself does not activate any activity listed in terms of regulations promulgated in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999). This legislation is therefore not applicable to this application.

7.6.3 Subdivision of Agriculture Land Act, 1970 (Act 70 of 1970)

Portion 1 of the Farm Voeghs Kraal 255 is at present zoned Agricultural Zone I. Although the property has a size of 880, 0766 hectare it has never been used for agricultural purposes because of the mountainous character of the property. The area that will be developed furthermore represents less than 0.001% of the total area of the farm. The development area is as such minuet in relation to the remainder of the farm. The proposal will thus in no way lead to a loss in productive and unique agricultural land. As no subdivision or rezoning of the property is proposed, this legislation is therefore not applicable to this application.

7.6.4 Advertising on Roads and Ribbon Development Act, 1940 (Act 21 of 1940)

The development proposal will obtain access from the R339 and Act 21 of 1940 is therefore applicable to the application. The original application was referred to the “Western Cape Government: Transport and Public Works” for their comments. The letter containing the comments from the department is attached hereto as **Annexure “O”**. The department offered no objections to the original development proposal. As the present proposal is a down scaling of the original proposal it is foreseen that there should also be no objections to this down scaled development proposal.

7.7 Character of the area

The well-known Prince Alfred Pass runs through the Portion 1 of the Farm Voeghs Kraal 255. Portion 1 of the Farm Voeghs Kraal 255 is located in the heart of the well-known Prince Alfred Pass and is as such surrounded by mountains. This area offers some of the most beautiful and unspoilt mountain scenery in South Africa. It is the intention to do a development which blend in with the environment and the aim will be to avoid any negative impact on biodiversity and ecological aspects of the receiving environment. The proposed development will thus take cognizance of the environment it is located in.

7.8 Access to the property

Portion 1 of the Farm Voeghs Kraal and the development area will obtain direct access from the R339 via an existing access. Because of the width of the gravel road and the numerous hairpin bends on the gravel road vehicles tend to move at a fairly slow speed along this gravel road. The sight distances at the entrance to the proposed development is such, bearing in mind that traffic moves at a slow rate along this gravel road, that acceptable sight distances are available in both the northern and southern direction to allow for safe movement from and into the development from the R339. The original application was referred to the “Western Cape Government: Transport and Public Works” for their comments. The department offered no objections to the original development proposal. The Department thus found the proposed access to be acceptable

7.9 Provision of parking bays

Parking spaces will be provided in close proximity of all buildings as soon on the site plan which is attached hereto as Annexure “?”. Ample space for the provision parking spaces is available on the property. The provision of parking spaces does thus not place a restriction on the development proposal.

7.10 Provision of services

Electricity – The proposed development will be 100% of the grid and all the required electricity will be generated by way of photovoltaic panels with battery storage, gas or by wind turbine. The building(s) orientation and massing, natural ventilation, natural day-lighting, and other passive strategies will be applied in an effort to increase the quality of the indoor environment and comfort of the occupants. Natural bottled gas or solar will be applied for domestic water heating and for the kitchen water and cooking. The kitchen will also be served with a water heater boiler.

Water – No municipal water is available on the property. Harvested rainwater will be stored as non-potable water and be used for the flushing of toilets, cleaning and irrigation purposes as far as possible. Water conservation measures through the use of low flow fixtures will be implemented.

Sewerage – No municipal waterborne sewerage system exists for this area. The old farmhouse has been connected to a closed/sealed 6000 liter conservancy tank. The restaurant will be served by a similar tank. The three additional dwelling units and the two outside rooms will also be served by a similar tank.

Waste - Domestic waste and recyclable material will be managed in accordance with environmental waste management guidelines. Domestic waste will be composted and applied as compost/fertilizer to the organic gardens. Plastic, metal and glass will be collected for recycling and transported to the nearest municipal collection point for disposal. Suitable combustible waste will be applied as fuel for the water heating boiler (Donkey type) serving the kitchen. In order to create as little as possible grey water on site, all laundry will be outsourced and transported to Avontuur, Uniondale or Plettenberg Bay.

8. CONCLUSION

According to the contents of this motivation report the applications are regarded to be desirable and it is argued that no reasons exist as to why the applications cannot be supported.

ANNEXURE "A": PERMIT ISSUED BY HERITAGE WESTERN CAPE

REGISTERED POST

Our Ref: HM/EDEN/UNIONDALE/FARM 255 PORTION 1
Case No.: 21112913LB0210E
Enquires: Thando Zingange
E-mail: Thando.Zingange@westerncape.gov.za
Tel: 021 483 9689
Date: 24 March 2020

Clifton Dunes Investments 342 (PTY) LTD
Prince Alfred Pass
Uniondale



PERMIT

CASE NUMBER 21112913LB0210E

Issued in terms of Section 34(1) of the National Heritage Resources Act, 1999 (Act 25 of 1999) and Regulation 3(3)(a) of PN 298 (29 August 2003)

This permit is valid for three years from the date of issue

This permit is issued for:

Proposed Action: Additions and Alterations to existing structure
Site: Farm 255 Portion 1, Prince Alfred Pass, Uniondale
Graded: IIB
Permit issued in accordance with Drawings:
No: 0194-WD-01 / 0194-WD-02 & 0194-WD-03
Dated: November 2019
Drawings prepared by: Paula Serfontein- Bella Casa Architectural Services
HWC Date Stamped: 24 March 2020

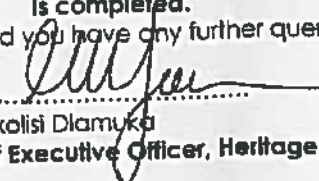
Conditions applicable to this Permit:

1. Work to be done strictly in accordance with the HWC stamped plans.

NOTE:

- This decision is subject to an **appeal period of 14 working days**.
- The applicant is required to inform any party who has expressed a bona fide interest in any heritage-related aspect of this record of decision. The appeal period shall be taken from the date above. It should be noted that for an appeal to be deemed valid it must refer to the decision, it must be submitted by the due date and it must set out the grounds of the appeal. Appeals must be addressed to the official named above and it is the responsibility of the appellant to confirm that the appeal has been received within the appeal period.
- **Work may NOT be initiated during this 14 working day appeal period.**
- If any archaeological material or evidence of burials is discovered during earth-moving activities all works must be stopped and Heritage Western Cape must be notified immediately.
- This approval does not exonerate the applicant from obtaining any necessary approval from any other applicable statutory authority.
- **An HWC STAMPED PLAN must be present on the site at all times and must be produced on demand by any heritage inspector, building control official, or any person duly authorized to do so.**
- **A copy of this permit must be displayed in a prominent place on the site until the permitted work is completed.**

Should you have any further queries, please contact the official above and quote the case number.

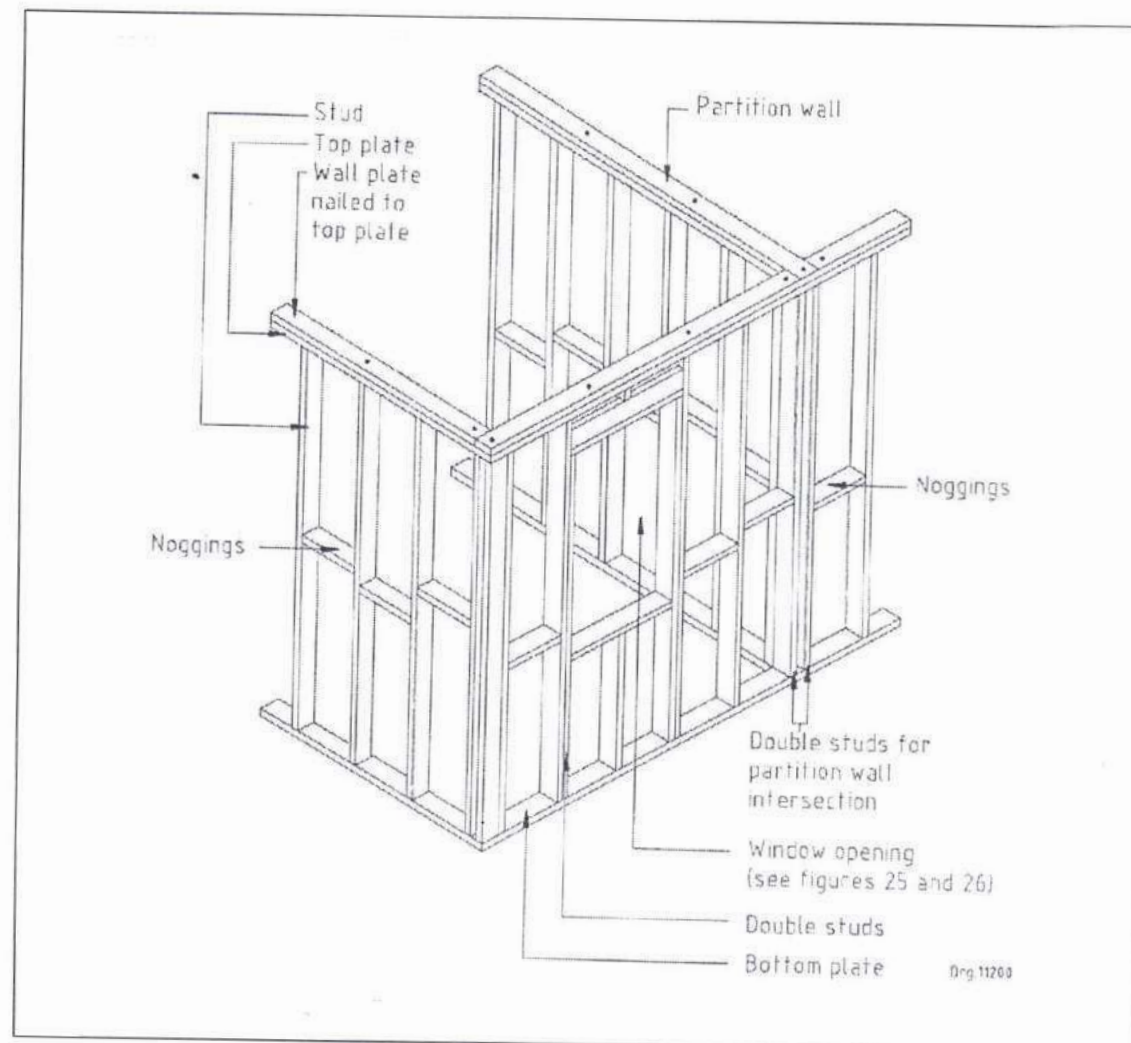

D. Mxolisi Dlamuka
Chief Executive Officer, Heritage Western Cape

www.westerncape.gov.za/cas

Street Address: Protea Assurance Building, Greenmarket Square, Cape Town, 8001 • Postal Address: Protea 1465, Cape Town, 8000
• Tel: +27 (0)21 483 9689 • E-mail: cas@westerncape.gov.za

Straatadres: Protea Assuransgebou, Groenmarktplein, Kaapstad, 8001 • Posadres: Protea 1465, Kaapstad, 8000
• Tel: +27 (0)21 483 9689 • E-pos: cas@westerncape.gov.za

Idilesi yendawo: Iimpamboli yase Protea Assurance, Greenmarket Square, iKaapstad, 8001 • Idilesi yeposi: Iimpamboli yase Protea 1465, iKaapstad, 8000
• Idilesi yemvelo: Iimpamboli yase Protea 1465, iKaapstad, 8000 • Idilesi yemvelo: Iimpamboli yase Protea 1465, iKaapstad, 8000



TYPICAL TIMBER FRAME CONSTRUCTION

ZONING INFORMATION

TOWN PLANNING SCHEME	GEORGE INTEGRATED ZONING SCHEME BY-LAW 01 SEPTEMBER 2017
USE ZONE	AGRICULTURAL ZONE 1 (AZ1)
SITE AREA	808.076 HECTARE
BUILDING LINES	COMMON BOUNDARY LINES AND ROAD/STREET TO BE 30M
HEIGHT RESTRICTION	FARMHOUSE - 6.5M TO WALL PLATE - 8.5M TO RIDGE OF PITCH ROOF

AREA SCHEDULE

EXISTING GROUND STOREY	118.54 SQ M
EXISTING FIRST FLOOR	43.88 SQ M
TOTAL	162.42 SQ M
EXISTING STORE ROOM	5.87 SQ M
TOTAL FLOOR AREA	168.29 SQ M
NEW TIMBER DECK	17.91 SQ M

TERMITE CONTROL

Termite control to comply with SANS 10082. All timber used in timber construction to be preservative treated against termites, woodborer attack and fungal decay according to SANS 10005. SANS 10082 also requires that the site shall be thoroughly investigated for evidence of termite infestation and acceptable measures shall be taken to eradicate any colonies found according to the requirements of SANS 10124 eg excavation of a colony or use of toxic smoke followed by a local application of soil poison. Cutting and drilling after preservation to be treated with the same preservatives by brushing or spraying. The preservation of the cut end of poles is vital. Sawdust, timber off-cuts, etc. must not be left on site.

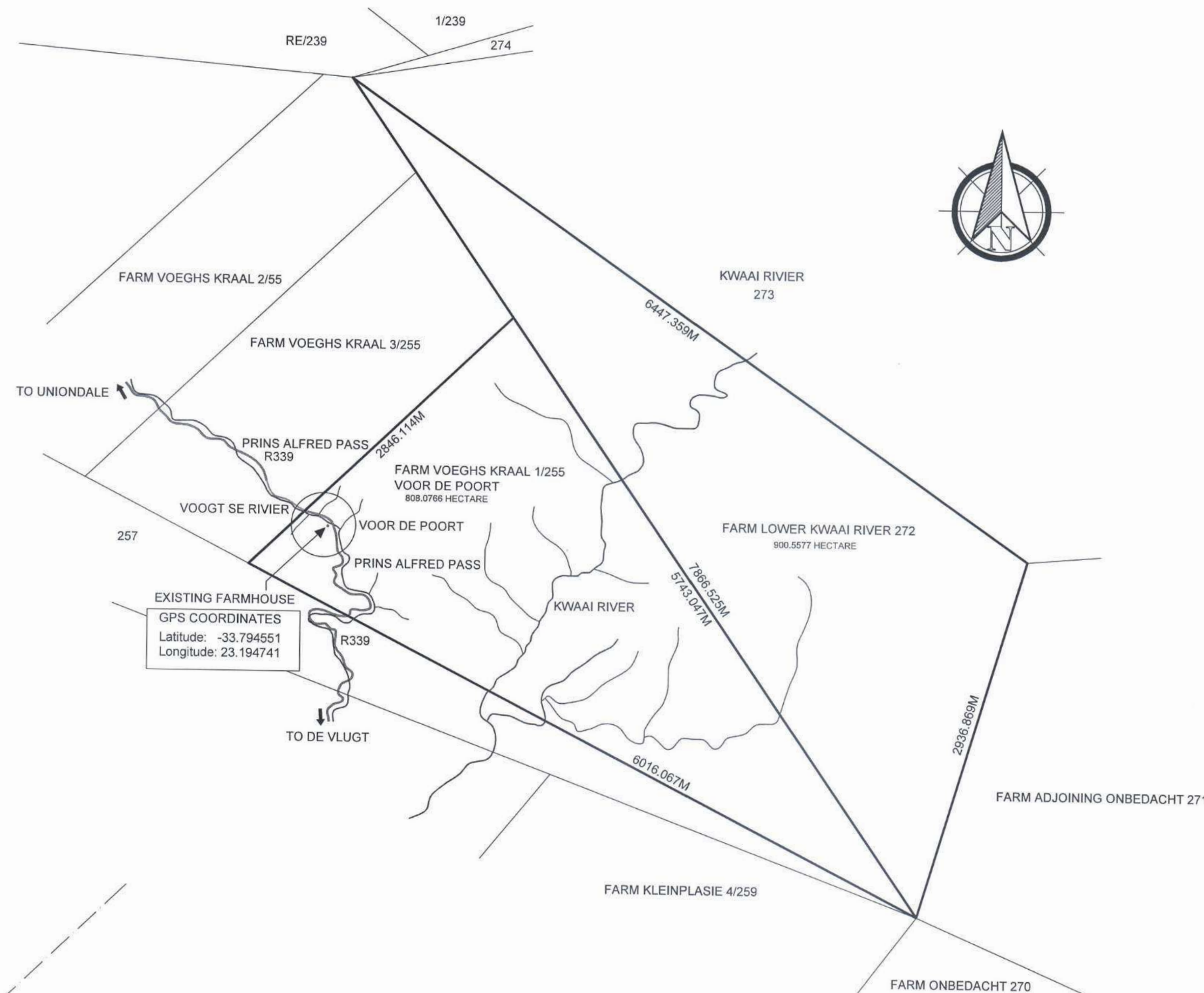
SITE OPERATIONS

Site operations to comply with SANS 10400-F:2010.

Sanitary facilities shall:
 1. be so sited as not to be offensive,
 2. at all times be maintained in a clean and hygienic condition
 3. be removed once such building work has been completed
 4. one sanitary facility for every 30 of personnel concerned
 5. no building work shall commence before such facilities are provided

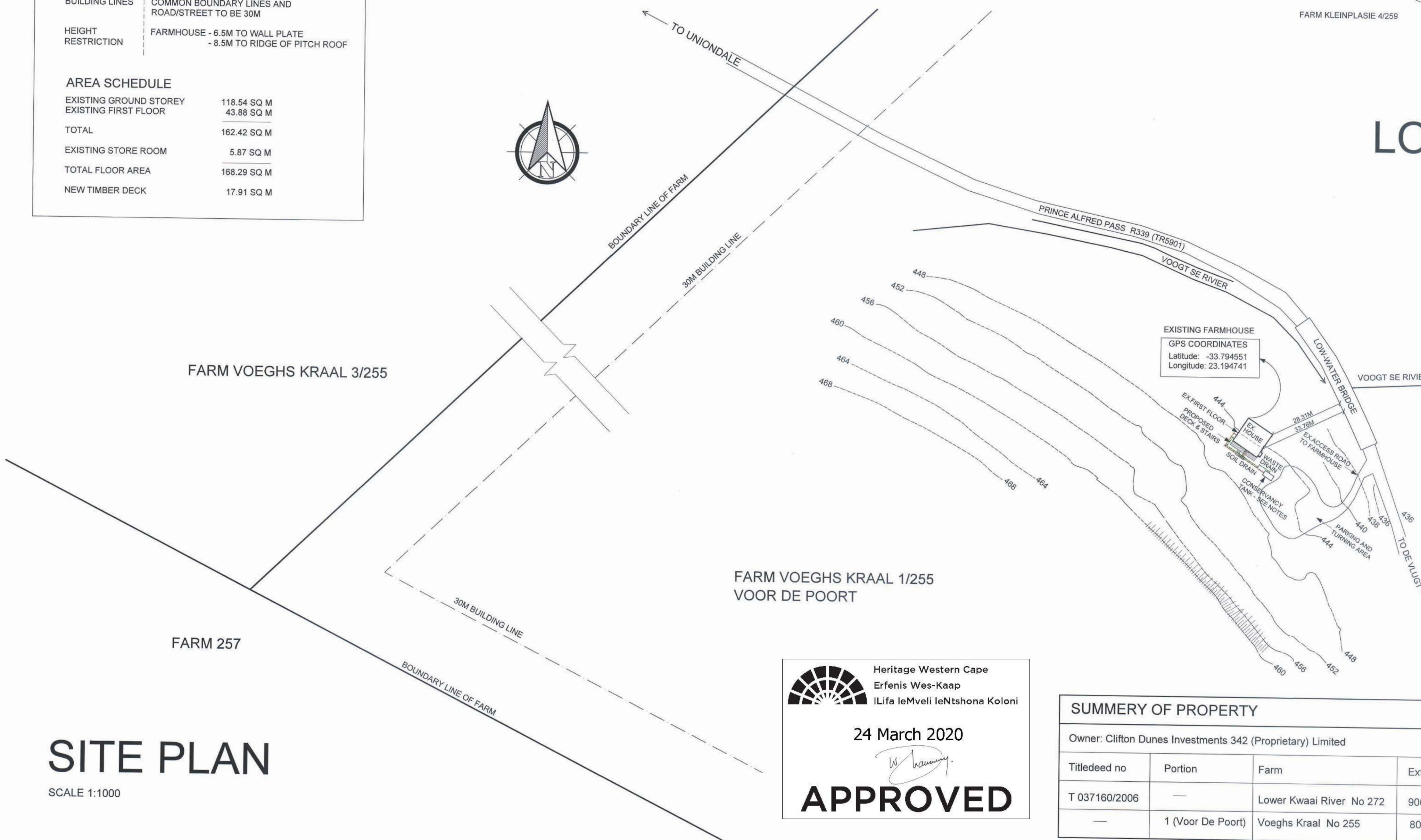
Builder's sheds:
 1. temporary builder's sheds may be erected on site as necessary
 2. construction & location to approval of local authority
 3. such sheds shall be maintained in good order

Waste material on site:
 excessive rubble, rubbish or combustible waste is not allowed to accumulate on site



LOCALITY PLAN

SCALE 1: 400 000



SITE PLAN

SCALE 1:1000



24 March 2020

APPROVED

CONSERVANCY TANK

CLOSED/SEALED 6000 liter underground conservancy tank by Rota Tank (NO SOAK AWAY) to be installed by DMB Irrigation Systems (PIRB registered) with concrete slab on top.
 Grease trap to be provided for kitchen waste water.
 Storm water must be prevented from entering the drainage system and all gullies must be raised sufficiently.
 Conservancy tanks must be located at least 3m from any building.
 Where distance from street boundary is more than 3m a convenient road to the tank should be provided.
 Conservancy tank to be pumped by Uniondale Municipality. Access to suction point has been confirmed.

SUMMARY OF PROPERTY

Owner: Clifton Dunes Investments 342 (Proprietary) Limited

Titledeed no	Portion	Farm	Extend (ha)	SG no	Notes
T 037160/2006	—	Lower Kwaai River No 272	900.5577	2572/1880	The two farms may not be
—	1 (Voor De Poort)	Voeghs Kraal No 255	808.0766	4893/1920	sold separately.

NOTES

IT IS THE OWNER'S RESPONSIBILITY THAT THE BUILDER AND ALL SUB-CONTRACTORS COMPLY WITH THE RULES AND REGULATIONS OF THE HEALTH AND SAFETY ACT.

GENERAL

This drawing is subject to copyright and may not be reproduced in whole or part or in any manner whatsoever without the written permission from Paula Serfontein. All building materials to be erected, fitted and fixed as per manufacturers specifications and in accordance with SANS 10400.

All dimensions and levels to be verified on site by the contractor and subcontractor before commencing any work. Any discrepancies on the drawings, schedules, notes, specifications or levels must be reported prior to any building work.

Overall dimensions to take precedence. Work to figured dimensions only. Contractor to call for all local authority inspections as and when required.

TIMBER-FRAMED CONSTRUCTION

All walls to comply with SANS 10400 Part K. Internal and external timber-framed walls and anchoring of roof in timber-framed buildings to comply with SANS 10082. All timber used in timber-framed walls to be preservative treated in accordance with SANS 10005.

Timber construction to comply with SANS 10082 and to have a fire resistance of not less than 30 minutes where the occupancy of the building is classified as G1, H3 or H4 provided that in such occupancy the timber construction shall not exceed two storeys in height.

Both sides of door openings and the ends of unsupported walls shall be anchored. Lintels shall be provided at all door and window openings to comply with SANS 10082.

Walls shall be stiffened by means of permanent bracing to resist horizontal forces caused by wind.

Damp-proofing membrane to isolate the timber framing. Blanket insulation should be used in all external walls.

Where steel or other metal components come into contact with timber that has been treated with a preservative containing a copper compound, the contact area shall be treated with an acceptable sealing compound or bituminous paint. Corrosive-resistant nails should be used compatible with the preservative treatment used for timber with which it will come in contact.

The sheathing sheathing membrane and cladding shall extend down to approximately 25mm below the top of the floor level. A corrosive-resistant trim or flashing, with weepholes at 300mm centres, shall be used and shall be painted before fixing.

WINDOWS AND DOORS

Light and ventilation according to SANS 10400. All glazing according to SANS 10400 PART N. Obscure glass to bathroom windows to owner's approval. Lintels over all openings to comply with SANS 10400 Part K. DPC to underside of all windows.

DRAINAGE

All drainage to be carried out by a registered plumber. All drainage installations to comply with SANS 10400 and local bylaws.

Head of drain to be minimum 450mm deep. Drains to be 100mm diameter uPVC at minimum fall 1:40. IE's to have marked covers at ground level.

IE's at all bends and junctions. Reseal traps to all waste fittings.

All waste pipes to be accessible to repair. Provide 50mm dia. anti-siphon pipes where required and where drop exceeds 1200mm.

All waste pipes to be 50mm dia. All drains under buildings to be protected against the load with IE's at the beginning and end of the building.

Top of any drain minimum 300mm below ground level. Provide RE's at any change of direction and 20m of straight line.

Access panels to sewer ducts to comply with Part PP20.2 (a), (i) of SABS 0400-1990.

Gully traps to be have an overflow to prevent surface water from entering the trap.

Paula Serfontein
Bella Casa Architectural Services

62A DAWN DRIVE NORTHCLIFF 2195 SACAP PYS/ArchT ST0248 CELL 083 556 7325 FAX 086 726 9745 paulaserfontein@gmail.com

PROJECT

PROPOSED REFURBISHMENT OF EXISTING FARMHOUSE ON PTN 1 (VOOR DE POORT) OF THE FARM VOEGHS KRAAL NO 255, UNIONDALE FOR CLIFTON DUNES INVESTMENTS 342 (PTY) LTD

Drawing Title

SITE PLAN AND LOCALITY PLAN
TYPICAL TIMBER FRAME CONSTRUCTION

PROJECT No. 0194 DRAWING No. 0194 - WD - 03

DATE NOVEMBER 2019 SCALE AS SHOWN

SIGNATURES REVISION

P. Serfontein
OWNER
P. Serfontein
Paula Serfontein SACAP ST0248
PYS/ArchT M/Arch/SA/Map/Reg/RAU

REPAIR OF EXISTING STONE WALLS
EXTERNAL WALLS
 Only mortars, plasters and renders that are flexible and breathable should be used to allow water within the walls, either from penetrating or rising damp to be released by evaporation in order to control damp and condensation within the building.
 Re-pointing of existing stone walls by raking out and remove defective mortar to minimum depth equal to twice the joint width to form a square recess using hand tools.
 Loose/defective areas of masonry to be rebuilt to match existing to engineer's approval. Dampen masonry before and during construction to control suction.
 Brush out joints clean of all dust and loosed material and flush out with clean water.
 Joints to be fully packed with lime mortar, pointed slightly proud of the face as work proceeds.
 Brush and beat the mortar back to the weathered stone surface using a natural bristle brush to close the mortar joint against the surface, remove any feather edges/overcess.
 The same process is carried out to all wall faces and below external ground level.
 Protect external walls against rain penetration with a breathable layer of limewash to manufacturer's details or spray BP white spirit mix on a warm day.
INTERNAL WALLS
 Remove all defective plaster from internal walls. Re-pointing as described for external walls, but joints should be slightly recessed as a key for rendering with lime hemp plaster and with Breathercoat to manufacturer's detail.
 Colour to owner's approval.

TIMBER STAIRWAY
 Timber stairway to comply with SANS 10400: M4.5
 Timber treads minimum 36mm thick
 Timber stringer beams to support timber treads not to exceed 1200mm in width and minimum size to be 225x50mm grade 5 to comply with SANS 1460 of SANS 1783-2 and free of warp in any direction.
 All timber used to be preservative treated according to SANS 10005.
 Risers: 183mm
 Treads: 300mm (275mm + 25mm overlap)
BALUSTRADE
 Timber balustrade to be 1m high.
 Balustrade to comply with SANS Part D & M and shall not have any opening that permits the passage of a 100mm dia ball.
 Provide a 1m high continuous wooden handrail to the flight of stairs.
 Handrail to be securely fixed.

CHIMNEY
 Chimney stack to comply with SANS 10400 Part V.
 Chimney stack to protrude minimum 1m above highest point of contact.
 Existing chimney stack to be built up to engineer's specifications and plastered and painted to match the colouring of the existing stone walls.
 Chimney stack to be located on the outside of the timber frame external wall panel of the First Storey.
 Provide movement gap between timber and masonry and fill with mineral fibre.
 No flues to extend through chimney.
 The chimney or flue of an open solid-fuel burning appliance must be provided with a damper or flap that can be closed to seal the chimney or flue.

TIMBER DECK
 Decking slats to be fixed to 150 x 50mm timber joists supported on new steel structure to engineer's detail with 150 x 50mm spacers for staggered blocking and thinner battens for cross-bracing as required.
 Stainless steel connectors and nails/screws to be used.
 Decking slats to be balau, kamr or other durable timber to approval and fixed using a 5mm spacer to space slats accurately.
 Fascia boards to sides of deck at 45° at corners. All timber to be sealed.

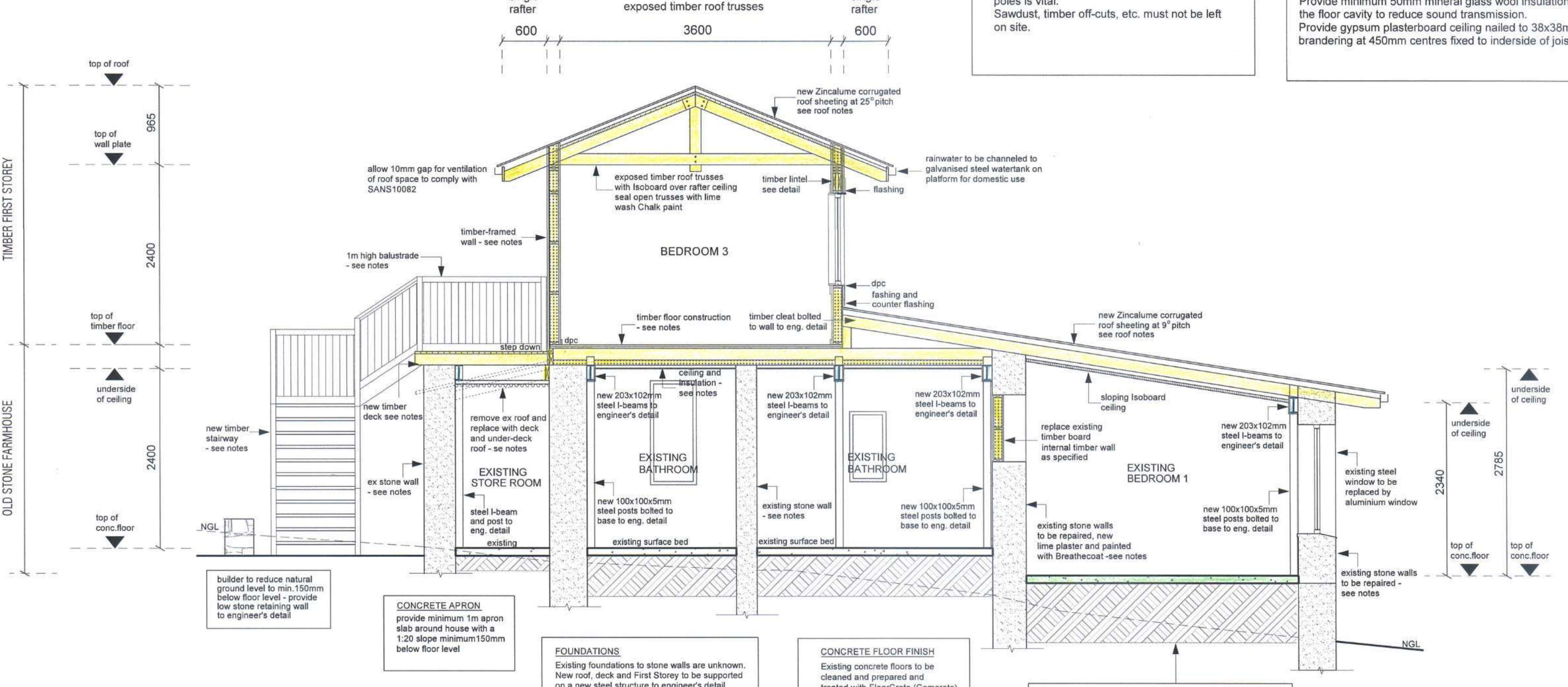
UNDER-DECK ROOF TO STORE ROOM
 Attach spacer blocks to underside of deck joists sized to create a slope. The blocks are incrementally thicker towards the outside edge of the Store Room so that the new under-deck roof will drain towards the outside gutter with slope to a downpipe at the end. Water to drain away from the house.
 Screw 50 x 76mm purlins to spacer blocks and attach one length corrugated fibreglass panels to the purlins.
 Attach panels with hex head roofing screws and neoprene washers for sealing.

TERMITE CONTROL
 Termite control to comply with SANS 10082.
 All timber used in timber construction to be preservative treated against termites, woodborer attack and fungal decay according to SANS 10005.
 SANS 10082 also requires that the site shall be thoroughly investigated for evidence of termite infestation and acceptable measures shall be taken to eradicate any colonies found according to the requirements of SANS 10124 eg excavation of a colony or use of toxic smoke followed by a local application of soil poison.
 Cutting and drilling after preservation to be treated with the same preservatives by brushing or spraying. The preservation of the cut end of poles is vital.
 Sawdust, timber off-cuts, etc. must not be left on site.

TIMBER FLOOR CONSTRUCTION TO FIRST STOREY
 Travloc vinyl floor planks to owner's approval on 22mm shutterboard on 2 x 12mm Magnabords on 225 x 50mm timber floor joists at 400mm centres and timber struts at 600mm centres to be extended over existing stone walls to engineer's specification supported on 203 x 102mm galvanised steel I-beams and 100 x 100 x 5mm galvanised steel posts bolted to new concrete footings all to engineer's specifications.
 Galvanised steel posts to engineer's detail and SANS 10162 and each end fitted with steel bearing plate. Where steel or other metal components come into contact with timber that has been treated with a preservative containing a copper compound, the contact area shall be treated with an acceptable sealing compound or bituminous paint.
 Provide minimum 50mm mineral glass wool insulation in the floor cavity to reduce sound transmission.
 Provide gypsum plasterboard ceiling nailed to 38x38mm bracing at 450mm centres fixed to underside of joists.

FIRST STOREY ROOF NOTES
 Zincalume 0.53mm corrugated roof sheeting and accessories at 25° pitch on Sitalation FR 405 reflective foil roof insulation fixed to 76 x 52mm timber purlins at 900mm centres.
 Provide 40mm Isoboard with Isopine edge bevelled finish over rafter roof insulation to be fixed according to manufacturer's specification. Isoboard to be laid horizontally over exposed trusses and fixed with 150 x 4mm Timberfix screws. Pre-drill guide holes to ensure screws to be centred on rafter member.
 Double exposed roof trusses over First Storey to be prefabricated engineer's design (MITEK) timber roof trusses to comply with SABS 0160 and SABS 0163. Double exposed roof trusses with single extended king post only visible on inside of building to be reduced to a single rafter visible on the outside. Gang nailed plates to be covered with decorative plates and bolts. Rafters, tie-beams and king posts to be 150 x 50mm grade 5 at maximum 1100mm centres. Roof overhang to be 600mm.
 Securing of roof trusses to be galvanized hoop-iron strap bent over and nailed to both sides of rafter and to face of wall plate and underside of top plate all to engineer's detail.
 Roof sheets and vertical wall cladding must be laid with double corrugation side lap and must be fixed through the crests of alternate flutes to purlins using 55mm Tex or Top Speed screws. All fasteners must incorporate 19mm dia bonded washers. Timberbex Zacs 4 fasteners must be used. End laps to be 150mm sealed.
 Provide 50mm Isotherm above Isoboard and between purlins to assist with dampening of weather noise.
 Isoboard to be painted two coats of matt acrylic paint. Solvent-based paints must NOT be used.
 Exposed roof trusses to be painted white with lime wash chalk paint.

NOTES
 IT IS THE OWNER'S RESPONSIBILITY THAT THE BUILDER AND ALL SUB-CONTRACTORS COMPLY WITH THE RULES AND REGULATIONS OF THE HEALTH AND SAFETY ACT.
GENERAL
 This drawing is subject to copyright and may not be reproduced in whole or part or in any manner whatsoever without the written permission from Paula Serfontein.
 All building materials to be erected, fitted and fixed as per manufacturer's specifications and in accordance with SANS 10400.
 All dimensions and levels to be verified on site by the contractor and subcontractor before commencing any work.
 Any discrepancies on the drawings, schedules, notes, specifications or levels must be reported prior to any building work.
 Overall dimensions to take precedence.
 Work to figured dimensions only.
 Contractor to call for all local authority inspections as and when required.
TIMBER-FRAMED CONSTRUCTION
 All walls to comply with SANS 10400 Part K.
 Internal and external timber-framed walls and anchoring of roof in timber-framed buildings to comply with SANS 10082.
 All timber used in timber-framed walls to be preservative treated in accordance with SANS 10005.
 Timber construction to comply with SANS 10082 and to have a fire resistance of not less than 30 minutes where the occupancy of the building is classified as G1, H3 or H4 provided that in such occupancy the timber construction shall not exceed two storeys in height.
 Both sides of door openings and the ends of unsupported walls shall be anchored.
 Lintels shall be provided at all door and window openings to comply with SANS 10082.
 Walls shall be stiffened by means of permanent bracing to resist horizontal forces caused by wind.
 Damp-proofing membrane to isolate the timber framing.
 Blanket insulation should be used in all external walls.
 Where steel or other metal components come into contact with timber that has been treated with a preservative containing a copper compound, the contact area shall be treated with an acceptable sealing compound or bituminous paint.
 Corrosive-resistant nails should be used compatible with the preservative treatment used for timber with which it will come in contact.
 The sheathing, sheathing membrane and cladding shall extend down to approximately 25mm below the top of the floor level.
 A corrosive-resistant trim or flashing, with weepholes at 300mm centres, shall be used and shall be painted before fixing.
WINDOWS AND DOORS
 Light and ventilation according to SANS 10400.
 All glazing according to SANS 10400 PART N.
 Obscure glass to bathroom windows to owner's approval.
 Lintels over all openings to comply with SANS 10400 Part K.
 DPC to underside of all windows.
DRAINAGE
 All drainage to be carried out by a registered plumber.
 All drainage installations to comply with SANS 10400 and local bylaws.
 Head of drain to be minimum 450mm deep.
 Drains to be 100mm diameter uPVC at minimum fall 1:40.
 IE's to have marked covers at ground level.
 IE's at all bends and junctions.
 Reseal traps to all waste fittings.
 All waste pipes to be accessible to repair.
 Provide 50mm dia. anti-siphon pipes where required and where drop exceeds 1200mm.
 All waste pipes to be 50mm dia.
 All drains under buildings to be protected against the load with IE's at the beginning and end of the building.
 Top of all drain minimum 300mm below ground level.
 Provide RE's at any change of direction and 20m of straight line.
 Access panels to sewer ducts to comply with Part PP2.2.(a),(ii) of SABS 0400-1990.
 Gully traps to be have a overflow to prevent surface water from entering the trap.



SECTION AA
 SCALE 1:50

WINDOW AND DOOR SCHEDULE

SEE ENERGY EFFICIENCY CALCULATIONS: FENESTRATION FOR COMPLIANCE WITH SANS 10400:PART XA AND SANS 204

ALL EXISTING WINDOWS TO BE REPLACED WITH WHITE POWDER COATED ALUMINIUM WINDOWS
 ALL WINDOW AND DOOR OPENINGS TO BE MEASURED ON SITE BEFORE MANUFACTURING
 BUGLAR BARS TO ALL OPENING SECTIONS

GROUND STOREY PLAN SCALE 1:100

WINDOW NO.	W1	W2	W3	W4	W5	W6	W7	W8	W9	D1	D5	D6
LOCATION	BEDROOM 1	BEDROOM 2	LOUNGE	LOUNGE	LOUNGE	KITCHEN/DINING AREA	BATHROOM 1	BATHROOM 2	STORE ROOM	ENTRANCE	LOUNGE	STORE ROOM
QUANTITY	1	1	1	1	1	1	1	1	1	1	1	1
FENESTRATION	aluminium single glazing	aluminium single glazing	aluminium single glazing	aluminium single glazing	aluminium single glazing	aluminium single glazing	aluminium single glazing	aluminium single glazing	aluminium single glazing	aluminium single glazing	aluminium single glazing	aluminium single glazing
P - SHADING	600 + 115 = 715mm	600 + 115 = 715mm	230mm	115mm	115mm	230mm	115mm	115mm	115mm	715 + 480 = 1,195mm	115mm	115mm
G - GLAZING TO SHADING	300mm	300mm	0	0	0	0	0	0	0	300mm	0	0
ORIENTATION	NE	NE	SE	NE	SW	SW	NW	NW	SW	NE	SW	SE

(ALL WINDOWS AND EXTERNAL DOORS VIEWED FROM OUTSIDE)

FIRST STOREY PLAN SCALE 1:100

WINDOW NO.	W10	W11	D6
LOCATION	BEDROOM 3 & GUEST ROOM/STUDY	BATHROOM 3 AND BATHROOM 4	BEDROOM 3 & GUEST ROOM/STUDY
QUANTITY	2	2	2
FENESTRATION	aluminium single LOW E glazing	aluminium single LOW E glazing	aluminium single LOW E glazing
P - SHADING	600 + 115 = 715mm	600 + 115 = 715mm	600 + 115 = 715mm
G - GLAZING TO SHADING	240mm	240mm	240mm
ORIENTATION	NE	NE	SW

DOOR SCHEDULE

DOOR SCHEDULE	QUANTITY	NOTES - DOORS
D1 - 1612 x 2032mm high double hardwood exterior doors with glass panels in timber frame to be painted to owner's approval	1	All timber doors by Swartland Doors or same quality as approved by owner. All exterior doors to be SABS approved for exterior Class 1 usage. Doors to be treated with Maxiscare on all sides with two coats before installation. After installation finish with third coat of Maxiscare. Ensure all rebates are sealed before glazing & all sides of beading must be sealed. All doors to be fitted in wooden frames. All ironmongery is to be brushed stainless steel or aluminium to owner's approval.
D2 - +/- 813 x 2032mm internal door and frame to fit opening to owner's approval	2	
D3 - +/- 800 x 2032mm internal door and frame to fit opening to owner's approval	1	
D4 - +/- 762 x 2032mm internal door and frame to fit opening to owner's approval	1	
D5 - +/- 762 x 2032mm external hardwood door with glass panel in timber frame to be painted to owner's approval	1	
D6 - 813 x 2032mm external hardwood door with glass panel in timber frame to be painted to owner's approval	3	
D7 - Internal sliding door with Hillaladam Coburn sliding door system for 800mm opening	1	

Heritage Western Cape
 Erfenis Wes-Kaap
 ILifa leMveli leNtshona Koloni
 24 March 2020

APPROVED

NOTES - WINDOWS

ALL WINDOWS & PATIO DOORS TO BE MEASURED ON SITE BEFORE MANUFACTURING.
 All windows and patio doors from Wispeco.
 All windows and patio doors to be white powder coated aluminium unless otherwise specified.
 All frames to receive glazing material shall comply with the requirements of SANS 7271:553-2 or SANS 10400:9.
 Care must be taken to prevent warm air leaks by adequate sealing of all gaps. All patio doors to have a weather seal system.
 All glazing to comply with SANS 10400-N and SABS Code 10137.
 All glazing to be clear glazing (unless otherwise noted) - no tinted or reflective glass shall be used.
 Obscure glass to bathroom windows to owner's approval.
 Safety glass to all glass doors & windows less than 300mm above floor level. The panes of all safety glazing shall be permanently marked by the installer and must be visible.
 Safety glazing to all glazing immediately above a bath.
 All material used in the glazing of the house shall be of a secure and durable type and shall be fixed in a manner and position that will ensure that it will:
 a. safely sustain any wind actions which can reasonably be expected;
 b. not allow penetration of water to the interior of the house; and
 c. be apparent to any person approaching such glazing.
 Safety glazing shall be used as indicated SANS 10400-N-4.4.
 The thickness of glass panes shall not be less than the following:

DIMENSIONS FOR VERTICAL GLASS SUPPORTED BY A FRAME ON ALL SIDES IN EXTERNAL WALLS	
Type of glass	Maximum pane area in sq m
	Nominal glass thickness
	3mm 4mm 5mm 6mm 8mm 10mm 12mm
Monolithic annealed glass	0,75 1,8 2,1 3,2 4,6 6,0 6,0
Patterned and wired glass	- 0,75 1,2 1,9 2,6 3,4 -
Laminated safety glass	- - 2,9 4,3 5,7 5,7
Toughened safety glass	- 1,9 3,0 4,5 8,0 8,0 8,0

 If glass panes are not according to abovementioned table, it must be determined by a competent person (glazing) according to the requirements of SANS 10137.

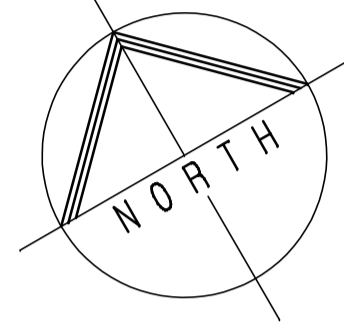
Paula Serfontein
 Bella Casa Architectural Services
 62A DAHM DRIVE NORTHCLIFF 2195 SACAP PrSArchT ST0348 paulaserfontein@gmail.com
 CELL 083 556 7235 FAX 086 726 9745

PROJECT
 PROPOSED REFURBISHMENT OF EXISTING FARMHOUSE ON PTN 1 (VOOR DE POORT) OF THE FARM VEGHS KRAAL NO 255, UNIONDALE FOR CLIEFTON DUNES INVESTMENTS 342 (PTY) LTD

Drawing Title
SECTION AA
WINDOW AND DOOR SCHEDULE

PROJECT No. 0194	DRAWING No. 0194 - WD - 02
DATE NOVEMBER 2019	SCALE AS SHOWN
SIGNATURES	REVISION

ANNEXURE "B": SITE DEVELOPMENT PLAN



NATURAL WATERCOURSE DOWN THE HILLSIDE

PRINS ALFRED PASS

VOOGT SE RIVIER

LOW-WATER BRIDGE

BM 4437.291

30m LINE FROM CENTRE OF ROAD

32m LINE FROM EDGE OF RIVER

446M

VOORGESTELDE NUWE RESTAURANT IN BESTAANDE GOEDGEKEURDE PLAAS STOOR

VOORGESTELDE GASTEHUIS IN BESTAANDE KLIPHUIS

BESTAANDE EN GOEDGEKEURDE STOOR

INGANG NA RESTAURANT

SOLAR PANELS

448.90

448M

450M

452M

454M

456M

488M

460M

462M

464M

466M

468M

470M

PARKERING 19 PARKERING 18 PARKERING 16

PARKERING 14

PARKERING 13

PARKERING 12 PARKERING 11 PARKERING 10

EENHEID 1

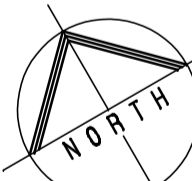
EENHEID 2

EENHEID 3

CONTAINER KAMER MET STORT EN TOILET

CONTAINER KAMER MET STORT EN TOILET

CONTAINER KAMER MET STORT EN TOILET



PORSIE 1 VAN DIE PLAAS VOEGHS KRAAL NO 255 808,0766ha

FARM NR 272

3/255

ERFGRENS 6016,06m 30m BOUJY

ERFGRENS 6016,06m 30m BOUJY

30m BOUJY ERFGRENS 6016,06m FARM NR 257

AREA GEDEELTE 1/255 = 808.0766ha
AREA NUWE PLAAS STOOR = 300m²

NOTA:
ALLE MATES EN VLAKKE MOET EERS OP TERREIN GEKONTROLEER WORD VOORDAT DAAR MET ENIGE BOUWERK BEGIN WORD EN OF MATERIAAL VAN ENIGE AARD BISTEL WORD. ENIGE VERANDERING VAN MATERIAAL SOOS OP TEKENINGE BESKRYF MOET EERS AAN 'N CONTRAIRE SKRYFTELIK INGELIG WORD.
ALLE FONDAMENTE EN BETONWERK MOET DEUR 'N INGENIEUR ONTWERP WORD.
PLANKE MOET EERS DEUR MUNISIPALITEIT GOEDGEKEUR WORD VOOR DAAR MET BOUWERK BEGIN WORD.
ALLE TEKENWERK TIEPSE DETAIL EN OF SNITTE MOET GEPRYS WORD EN IS VAN TOEPASSING OP DIE GEBOU.
ANY DISCREPANCIES OR CONTRADICTIONS MUST IMMEDIATELY BE POINTED OUT TO Tertius Conradie FOR CORRECTIONS OR EXPLANATIONS BEFORE ANY CONSTRUCTION PROCEED.

Tertius Conradie
Argitek & uur
P&SArchT
15 PROGRESS STREET
DORCHESTER STRUFT
GEORGE
6538
SELL: 083 7227 283
E: POS tertconradie@telkomsa.net

in association with

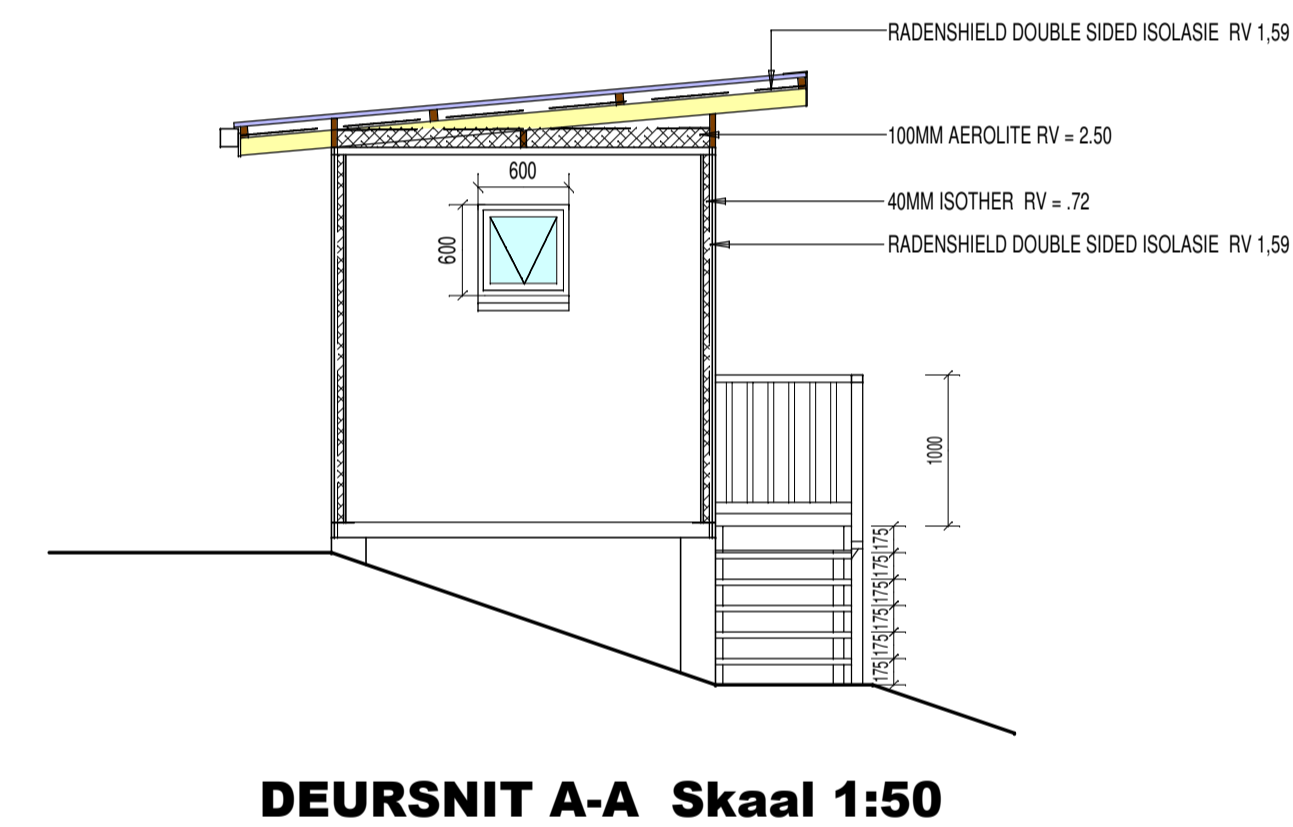
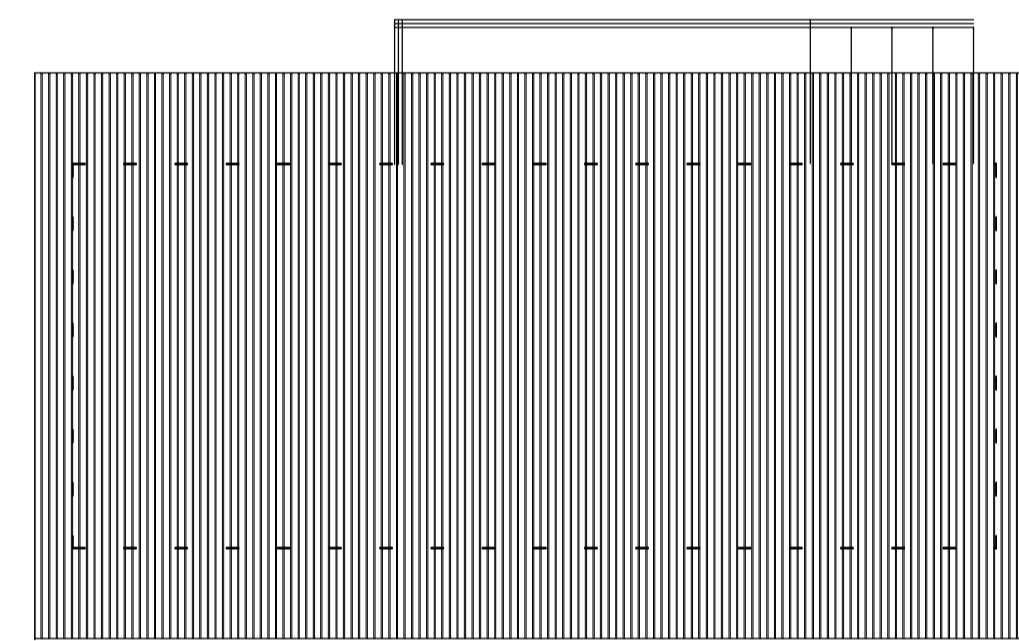
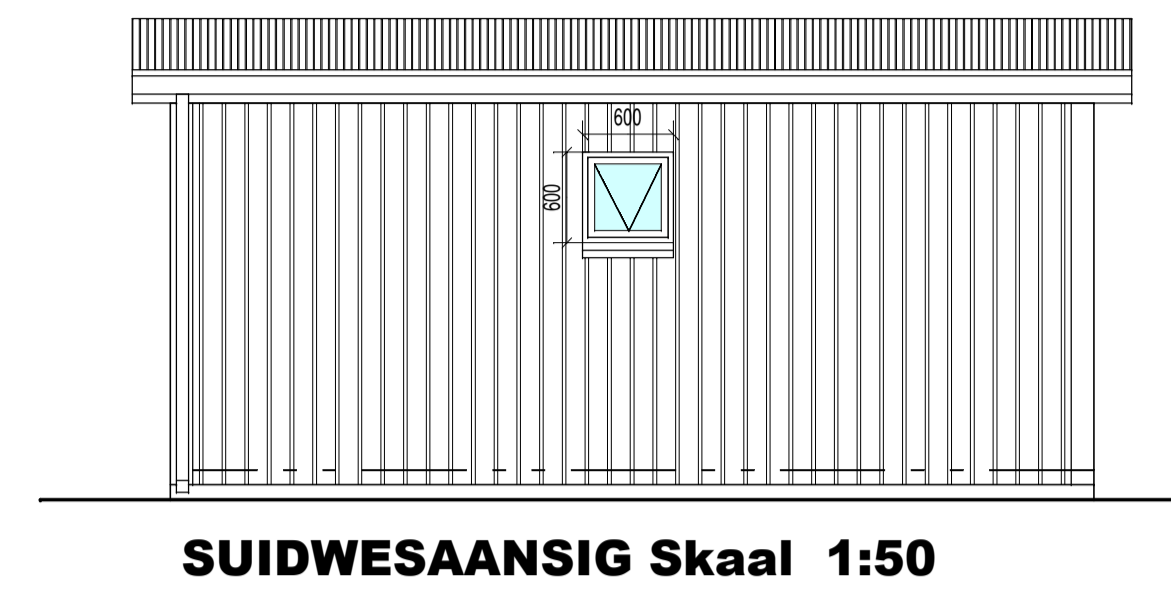
VOORGESTELDE PLAAS STOOR VIR CLIFTON DUNES INVESTMENTS 342 (PROPRIETY) LIMITED OP PORSIE 1 VAN DIE PLAAS VOEGHS KRAAL NO 255 EDEN DISTRIK GEORGE

MUNISIPALE PLAN	
DATUM	3-09-2020
SKAAL	1/100 1/200
EENAR	W04

TERREINPLAN: Skaal 1:300

TERREINPLAN: Skaal 1:15000

ANNEXURE "C": TYPICAL PLAN FOR THE OUTSIDE ROOMS



AREA GEDEELTE 1/255 = 808.0766ha
 AREA NUWE GEDEELTE = 20m²

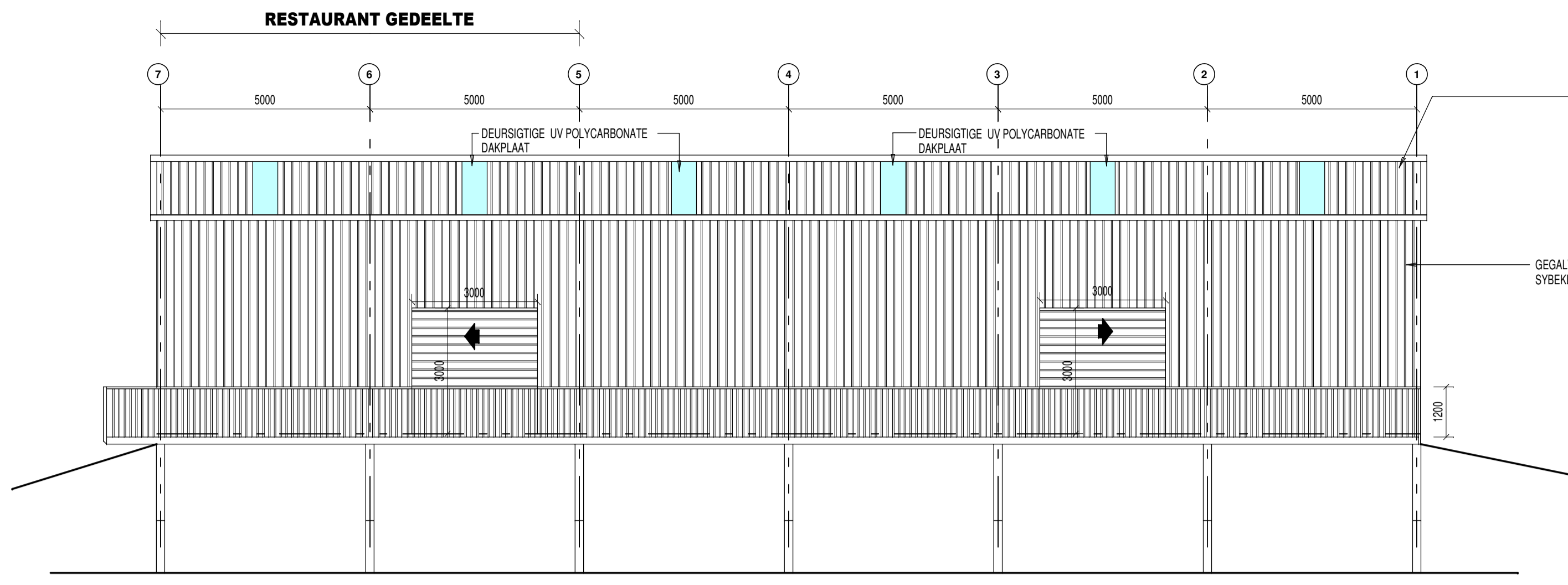
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 TERREIN GEKONTROLEER WORD VOORDAT
 DAAR MET ENGE BOUWERK BEGIN WORD EN OF MATERIAAL
 VAN ENGE AARD BISTEL WORD. ENGE VERANDERING VAN
 MATERIAAL SOOS OP TEKENINGE BESKRYF MOET EERS
 AAN T. Conradie SKRYFTELIK INGELIG WORD.
 ALLE FONDAMENTE EN BETONWERK MOET
 DEUR N INGENIEUR ONTWERP WORD.
 PLANKE MOET EERS DEUR MUNISIPALITEIT
 GOEDGEKEUR WORD VOOR DAAR MET BOUWERK
 BEGIN WORD.
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 GEORGE
 6538
 E: POS tertiusconradie@telkomsa.net
 in association with

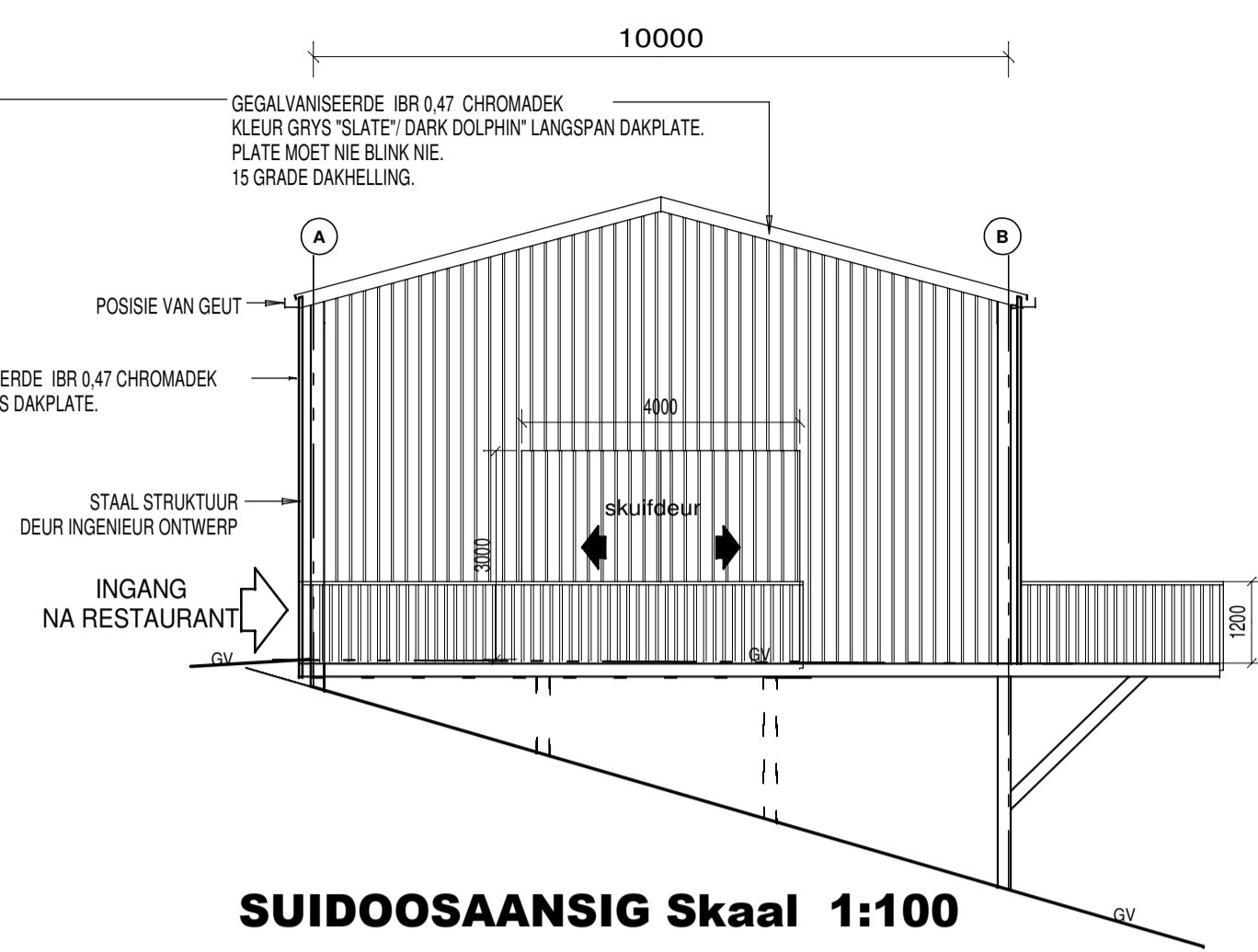
VOORGESTELDE "CONTAINERS"
 VIR CLIFTON DUNES INVESTMENTS 342
 (PROPRIETY) LIMITED
 OP PORSIE 1 VAN DIE PLAAS
 VOEGHS KRAAL NO 255
 EDEN DISTRIK
 GEORGE

MUNISIPALE PLAN	
DATUM	26-4-2021
SKAAL	1/100 1/200
EENNAAR	W01

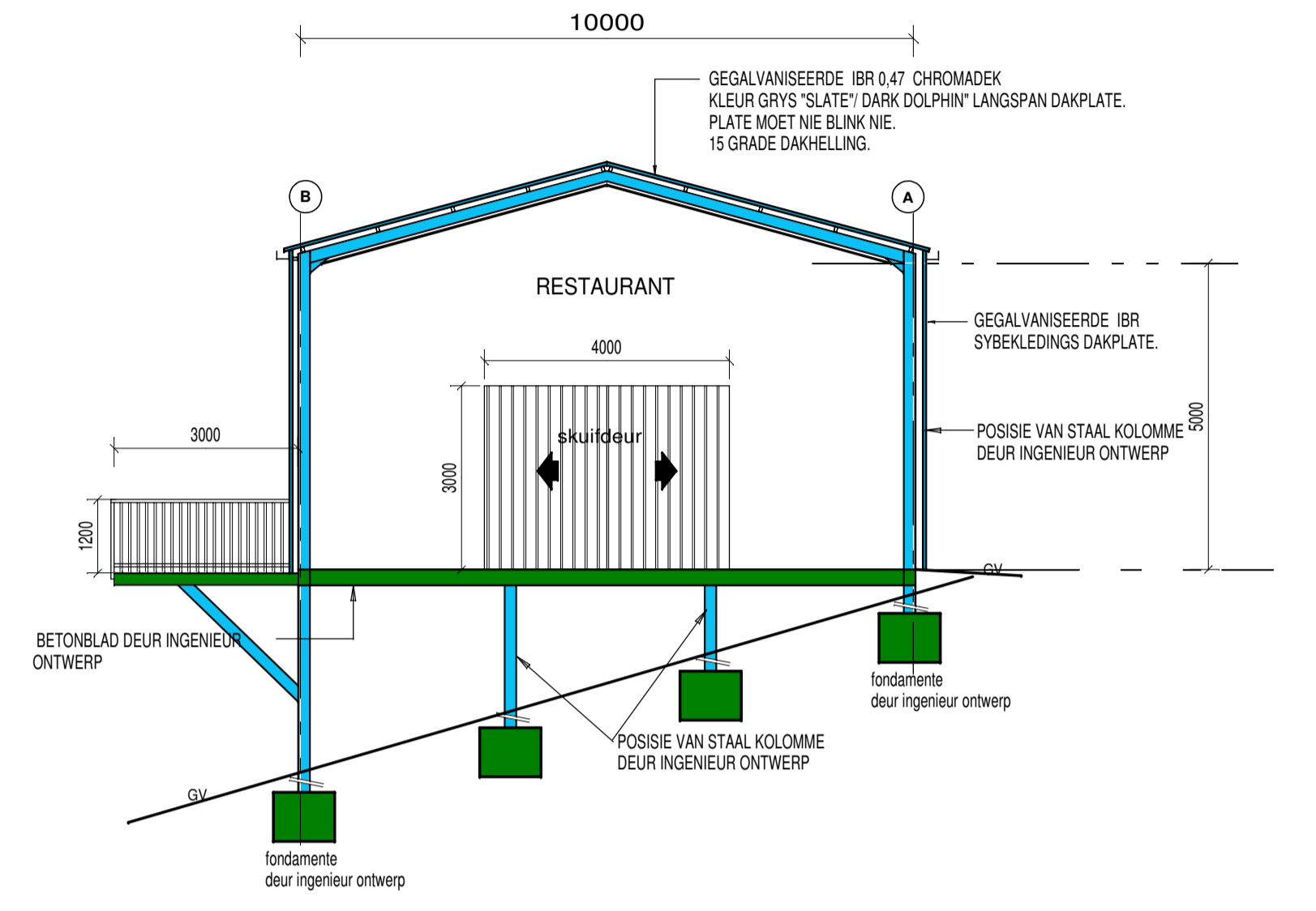
ANNEXURE "D": FLOOR PLAN OF SHED



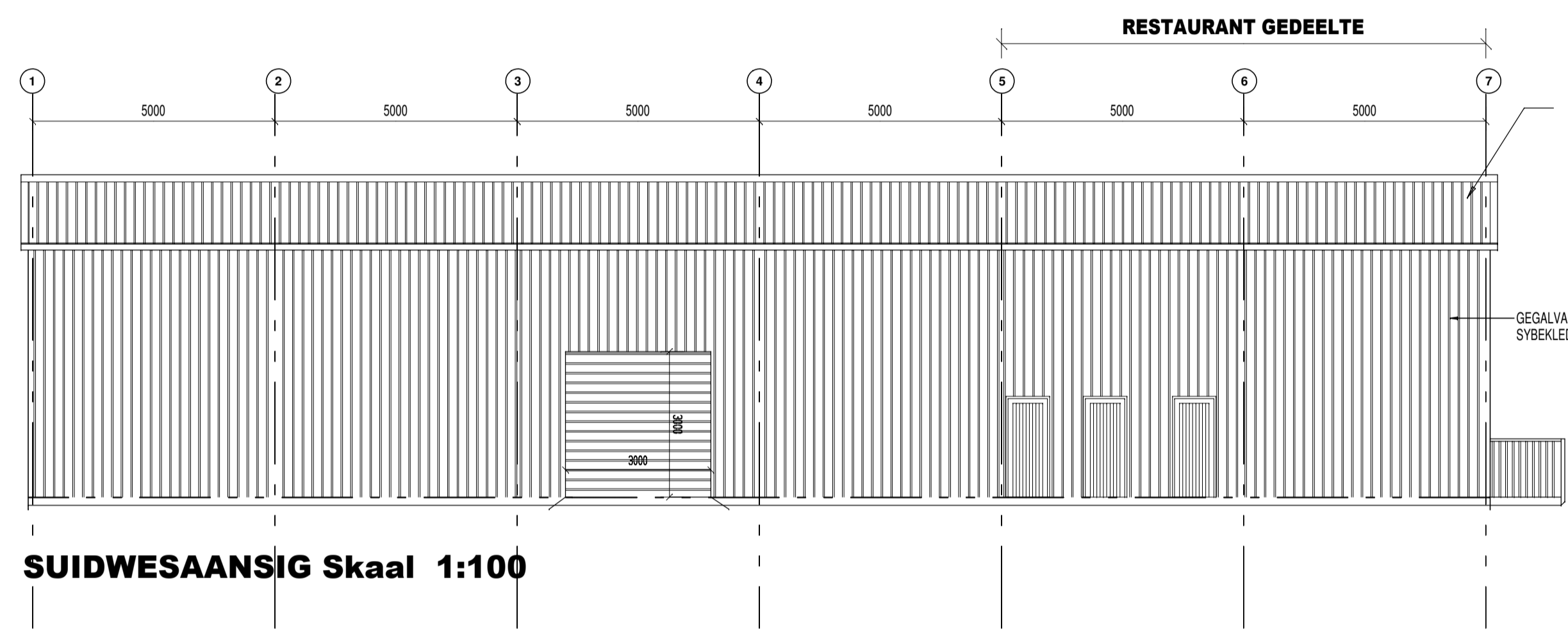
NOORDOOSAANSIG Skaal 1:100



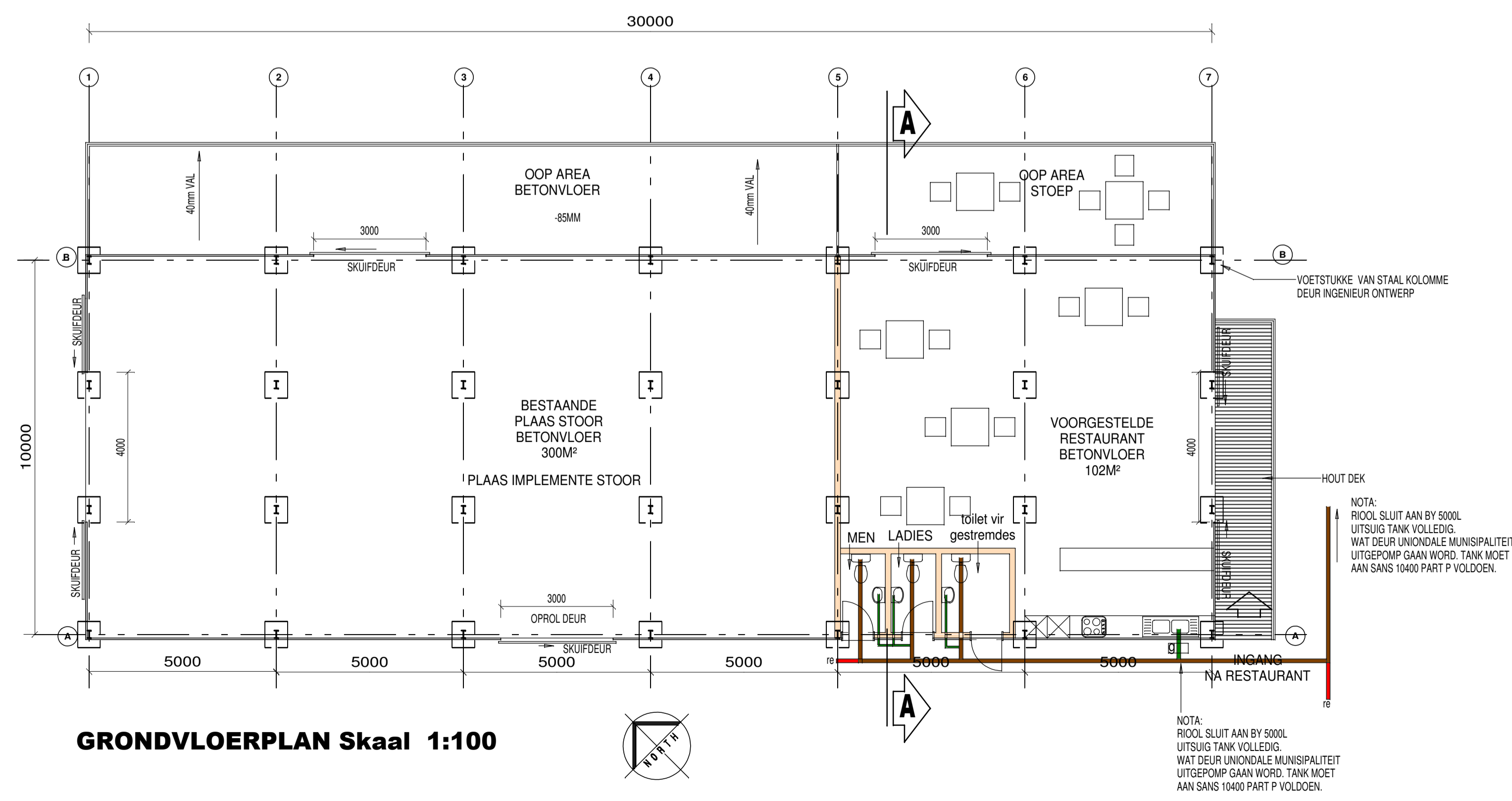
SUIDOOSAANSIG Skaal 1:100



DEURSNIT A-A Skaal 1:100



SUIDWESAANSIG Skaal 1:100



GRONDVLOERPLAN Skaal 1:100

AREA GEDEELTE 1/255 = 808.0766ha

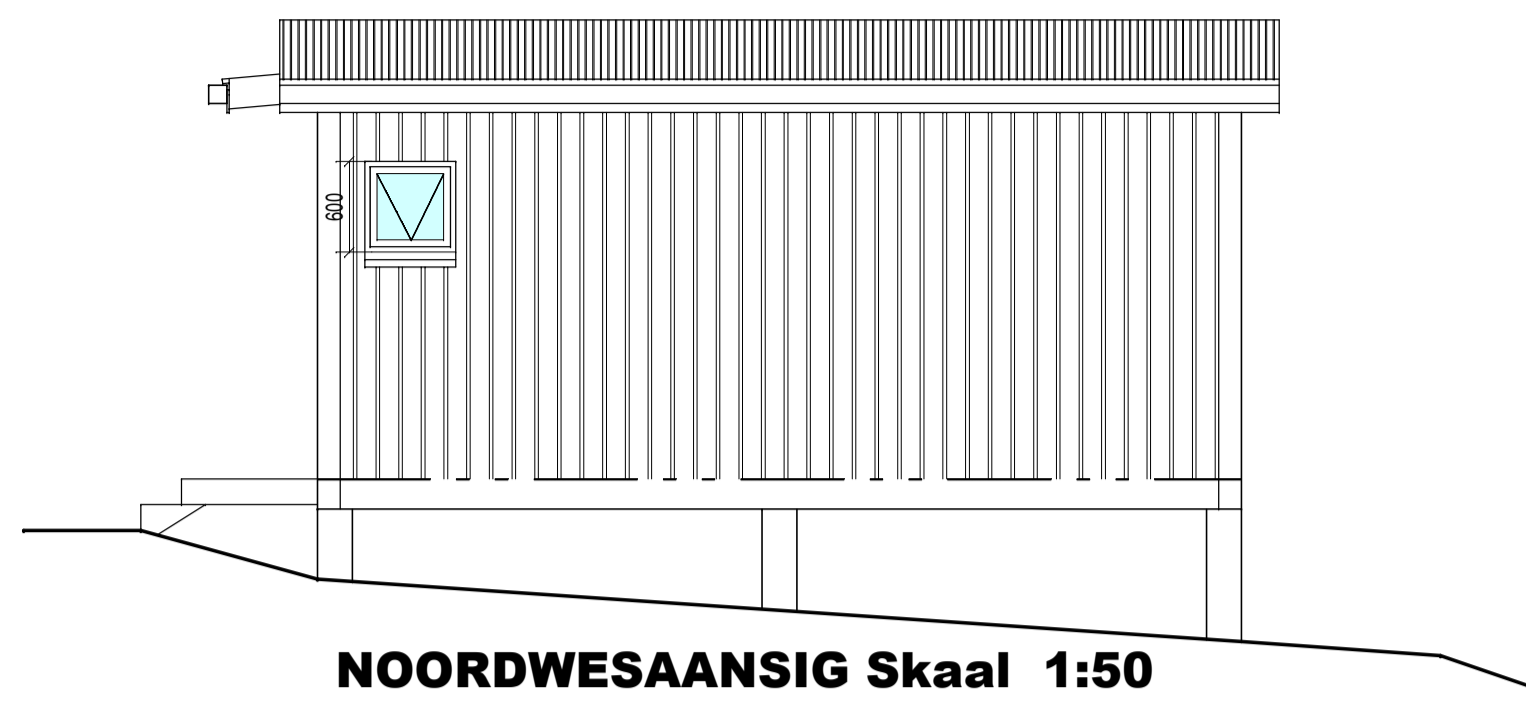
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 ALLE MATES EN VLAKKE MOET EERS OP TERREIN GEKONTROLEER WORD VOORDAT DAAR MET ENGE BOUWERK BEGIN WORD EN OF MATERIAAL VAN ENGE AARD BESTEL WORD. ENGE VERANDERING VAN MATERIAAL SOOS OP TEKENINGE BESKRYF MOET EERS AAN T. Conradie SKRYFTELIK INGELIG WORD. ALLE FONDAMENTE EN BETONWERK MOET DEUR N INGENIEUR ONTWERP WORD. PLANNE MOET EERS DEUR MUNISIPALITEIT GOEDGEKEUR WORD VOOR DAAR MET BOUWERK BEGIN WORD. ALLE TEKENWERK TIPIESE DETAIL EN OF SNITTE MOET GEPRYS WORD EN IS VAN TOEPASSING OP DIE GEBOU.
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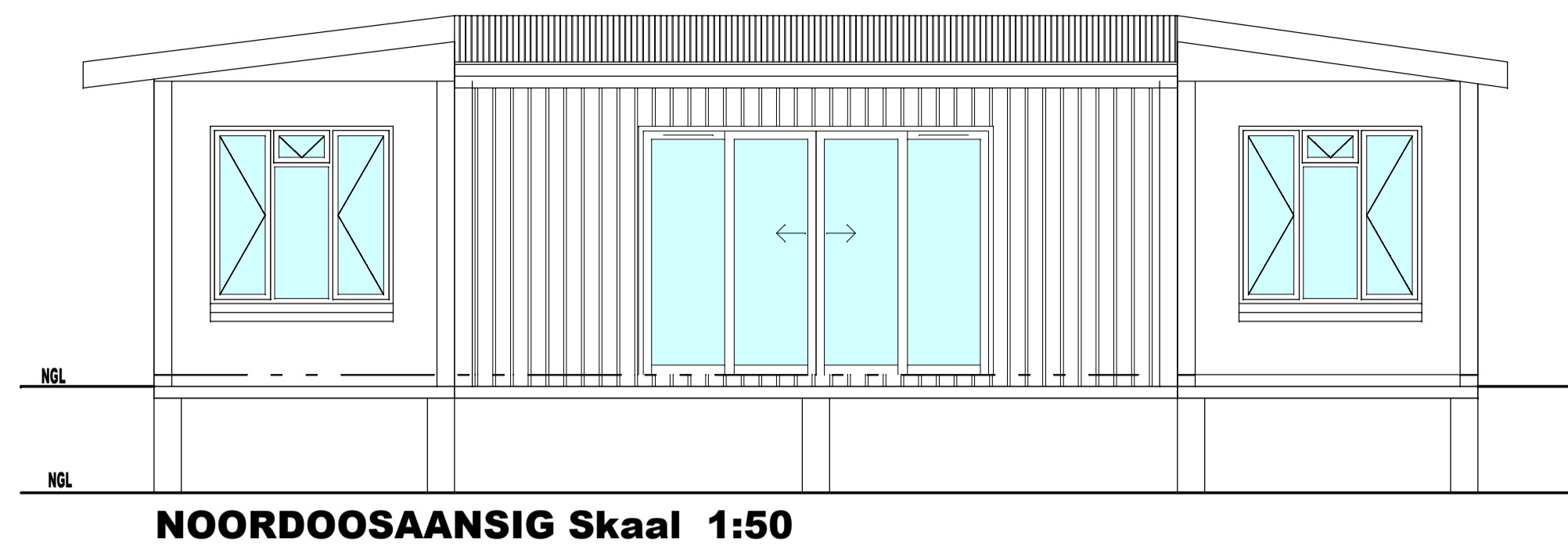
VOORGESTELDE PLAAS STOOR
 VIR CLIFTON DUNES INVESTMENTS 342
 (PROPRIETY) LIMITED
 OP PORSIE 1 VAN DIE PLAAS
 VOEGHS KRAAL NO 255
 EDEN DISTRIK
 GEORGE

MUNISIPALE PLAN	
DATUM	26-04-2021
SKAAL	1/100 1/200
EENAR	W03

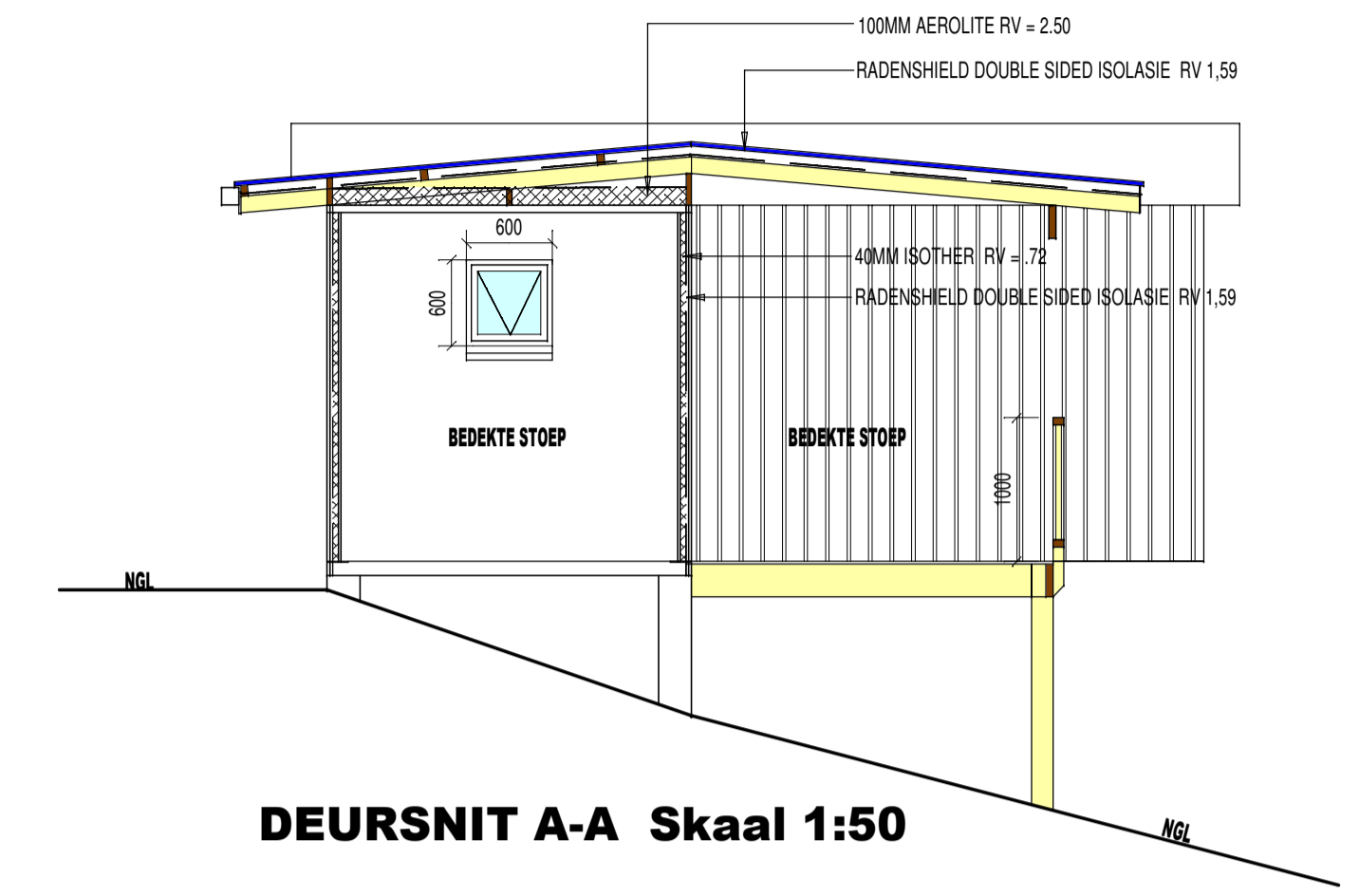
ANNEXURE “E”: FLOOR PLAN FOR THE ADDITIONAL DWELLING UNITS



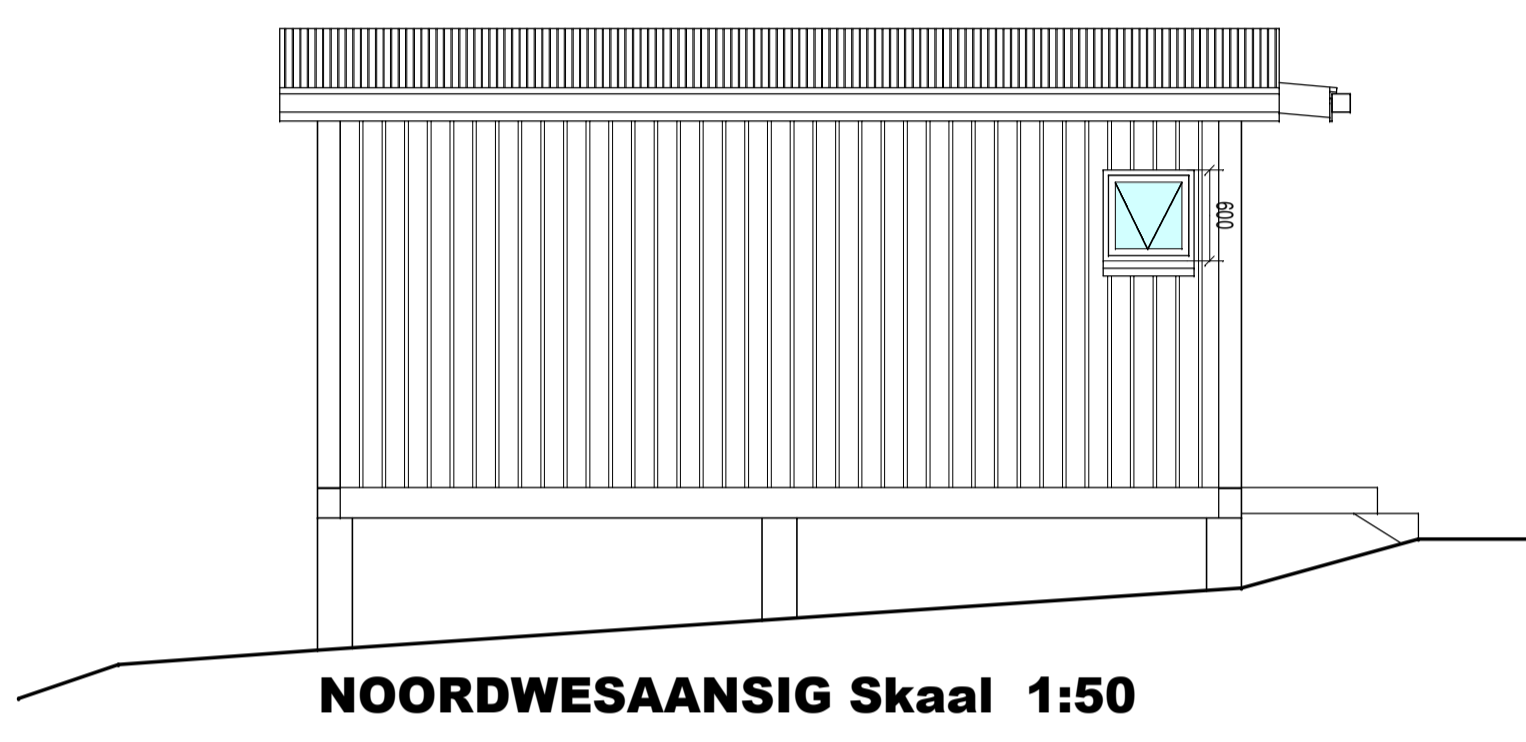
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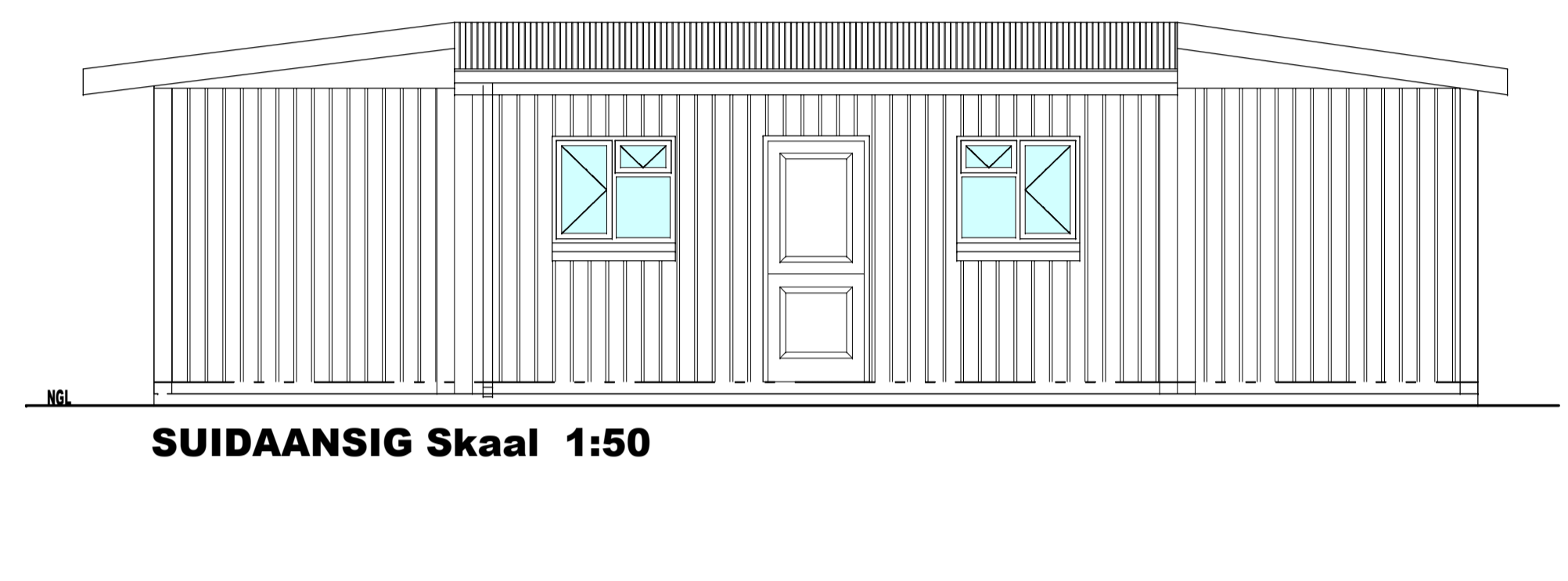
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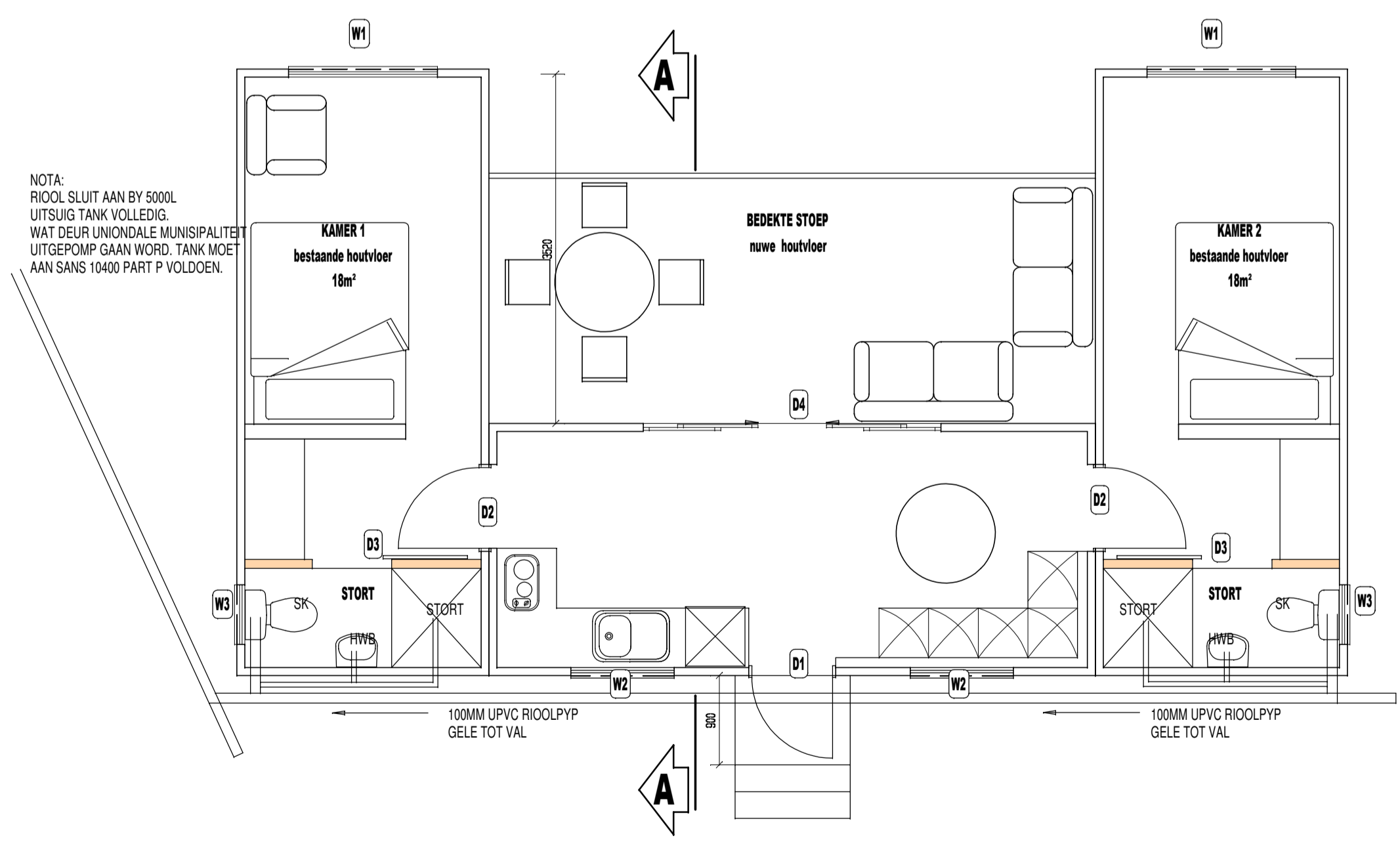
DEURSNIT A-A Skaal 1:50



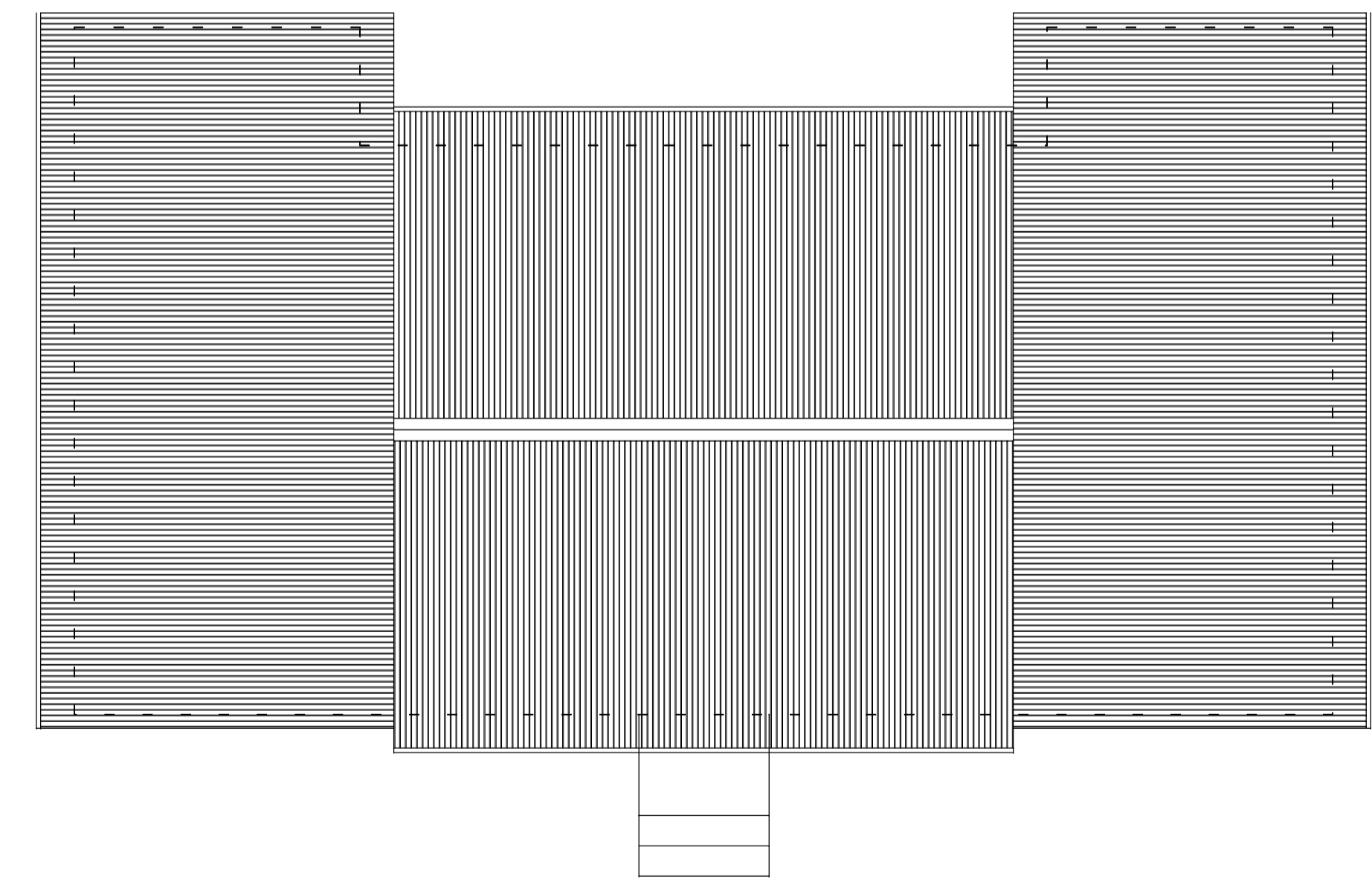
NOORDWESAANSIG Skaal 1:50



SUIDAANSIG Skaal 1:50



GRONDVLOERPLAN: Skaal 1:50
2 Slaapkamer 60m²
(EENHEID 1 TOT 3)



DAKPLAN: Skaal 1:50
2 Slaapkamer 60m²
(EENHEID 1 TOT 3)

AREA GEDEELTE 1/255 = 808.0766ha
AREA NUWE 2BEDROOM UNIT = 60m²

NOTA:
 ALLE MATES EN VLAKKE MOET EERS OP
 TERREIN GEKONTROLEER WORD VOORDAT
 DAAR MET ENIGE BOUWERK BEGIN WORD EN OF MATERIAAL
 VAN ENIGE AARD BESTEL WORD. ENIGE VERANDERING VAN
 MATERIAAL SOOS OP TEKENINGE BESKRYF MOET EERS
 AAN T. Conradie SKRYFTELIK INGELIG WORD.
 ALLE FONDAMENTE EN BETONWERK MOET
 DEUR N INGENIEUR ONTWERP WORD.
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 GOEDGEKEUR WORD VOOR DAAR MET BOUWERK
 BEGIN WORD.
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in association with
VOORGESTELDE PLAAS STOOR
VIR CLIFTON DUNES INVESTMENTS 342
(PROPRIETY) LIMITED
OP PORSIE 1 VAN DIE PLAAS
VOEGHS KRAAL NO 255
EDEN DISTRIK
GEORGE

MUNISIPALE PLAN	
DATUM	26-4-2021
SKAAL	1/100 1/200
EENAR	W02

ANNEXURE "F": APPLICATION FORM

GEORGE MUNICIPALITY



APPLICATION FORM FOR APPLICATION SUBMITTED IN TERMS OF THE LAND-USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY

NOTE: Please complete this form using BLOCK capitals and ticking the appropriate boxes.

PART A: APPLICANT DETAILS

First name(s)	Johannes George				
Surname	Vrolijk				
SACPLAN Reg No. (if applicable)	A/1386/2010				
Company name (if applicable)	Jan Vrolijk Town Planner / Stadsbeplanner				
Postal Address	P O Box 710				
	George	Postal Code	6530		
Email	janvrolijk@vodamail.co.za				
Tel	044 873 3011	Fax	086 510 4383	Cell	082 464 7871

PART B: REGISTERED OWNER(S) DETAILS (if different from applicant)

Registered owner	Clifton Dunes Investments 342 (PTY) Ltd Registration Number: 2005/037594/07				
Address	P/a 62A Dawn Drive				
	Northcliff	Postal code	2195		
E-mail	hermanbrauer@gmail.com				
Tel	N.a	Fax	N.a	Cell	084 657 4672

PART C: PROPERTY DETAILS (in accordance with Title Deed)

Property Description [Erf / Erven / Portion(s) and Farm number(s), allotment area.]	Portion 1 of the Farm Voeghs Kraal 255				
Physical Address	Between de Vlucht and Avontuur in the Prince Alfred Pass				
GPS Coordinates		Town/City	George District		
Current Zoning	Agricultural Zone I	Extent	808.0766 hectare	Are there existing buildings?	Y N

Current Land Use	Farmhouse and shed			
Title Deed number & date	T37160/2008			
Any restrictive conditions prohibiting application?	Y	N	If Yes, list condition number(s).	
Are the restrictive conditions in favour of a third party(ies)?	Y	N	If Yes, list the party(ies).	
Is the property encumbered by a bond?	Y	N	If Yes, list Bondholder(s)?	
Has the Municipality already decided on the application(s)?	Y	N	If yes, list reference number(s)?	
Any existing unauthorized buildings and/or land use on the subject property(ies)?	Y	N	If yes, is this application to legalize the building / land use?	Y N
Are there any pending court case / order relating to the subject property(ies)?	Y	N	Are there any land claim(s) registered on the subject property(ies)?	Y N

PART D: PRE-APPLICATION CONSULTATION

Has there been any pre-application consultation?	Y	N	If Yes, please complete the information below and attach the minutes.		
Official's name	Jeanne Fourie	Reference number	Ptn 1 of 255	Date of consultation	1 February 2019

PART E: LAND USE APPLICATIONS IN TERMS OF SECTION 15 OF THE LAND USE PLANNING BY-LAW FOR GEORGE MUNICIPALITY & APPLICATION FEES PAYABLE

***Application fees that are paid to the Municipality are non-refundable and proof of payment of the application fees must accompany the application.**

BANKING DETAILS

Name: **George Municipality**
Bank: **ABSA**
Branch no.: **632005**
Account no.: **01022220981**
Type: **Cheque**
Swift Code: **ABSAZAJCPE-SORTCODE 632005**
VAT Registration Nr: **4630193664**
E-MAIL: **ronel@george.org.za**
***Payment reference:** GRG.....or Erf nr:

PART F: DETAILS OF PROPOSAL

Brief description of proposed development / intent of application:

Application is made in terms of Section 15(2)(o) of the Land Use Planning By-Law for the George Municipality, 2015 for the consent of the George Municipality to allow for the following consent uses on a portion of Portion 1 of the Farm Voeghs Kraal No 255

- **guesthouse consisting of two inside and two outside loose standing guestrooms;**
- **three additional dwelling units which will be used for overnight accommodation purposes; and**
- **a tourist facility (restaurant).**

PART G: ATTACHMENTS & SUPPORTING INFORMATION FOR LAND USE PLANNING APPLICATIONS

Please complete the following checklist and attach all the information relevant to the proposal. Failure to submit all information required will result in the application being deemed incomplete.

Is the following compulsory information attached?

Y	N	Completed application form	Y	N	Pre-application Checklist (where applicable)
Y	N	Power of Attorney / Owner's consent if applicant is not owner	Y	N	Bondholder's consent
Y	N	Motivation report / letter	Y	N	Proof of payment of fees
Y	N	Full copy of the Title Deed	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Locality Plan	Y	N	Site layout plan

Minimum and additional requirements:

Y	N	N/A	Conveyancer's Certificate	Y	N	N/A	Land Use Plan / Zoning plan
Y	N	N/A	Proposed Subdivision Plan (including street names and numbers)	Y	N	N/A	Phasing Plan
Y	N	N/A	Consolidation Plan	Y	N	N/A	Copy of original approval letter (if applicable)
Y	N	N/A	Site Development Plan	Y	N	N/A	Landscaping / Tree Plan
Y	N	N/A	Abutting owner's consent	Y	N	N/A	Home Owners' Association consent
Y	N	N/A	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	N/A	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	N/A	Services Report or indication of all municipal services / registered servitudes	Y	N	N/A	Required number of documentation copies
Y	N	N/A	Any additional documents or information required as listed in the pre-application consultation form / minutes	Y	N	N/A	Other (specify)

PART H: AUTHORISATION(S) IN TERMS OF OTHER LEGISLATION

Y	N/A	National Heritage Resources Act, 1999 (Act 25 of 1999)		Y	N/A	Specific Environmental Management Act(s) (SEMA)
Y	N/A	National Environmental Management Act, 1998 (Act 107 of 1998)				(e.g. Environmental Conservation Act, 1989 (Act 73 of 1989), National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004),
Y	N/A	Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)				National Environmental Integrated Coastal Management Act, 2008 (Act 24 of 2008), National Environmental Management: Waste Act, 2008 (Act 59 of 2008),
Y	N/A	Spatial Planning and Land Use Management Act, 2013 (Act 16 of 2013)(SPLUMA)				National Water Act, 1998 (Act 36 of 1998)
Y	N/A	Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations				(strikethrough irrelevant)
Y	N/A	Land Use Planning Act, 2014 (Act 3 of 2014) (LUPA)	Y	N/A	Other (specify)	
Y	N/A	If required, has application for EIA / HIA / TIA / TIS / MHIA approval been made? If yes, attach documents / plans / proof of submission etc.				
Y	N/A	If required, do you want to follow an integrated application procedure in terms of section 44(1) of the Land-Use Planning By-law for George Municipality?				

SECTION I: DECLARATION

I hereby wish to confirm the following :

1. That the information contained in this application form and accompanying documentation is complete and correct.
2. The Municipality has not already decided on the application.
3. I'm aware that it is an offense in terms of section 86(1)(d) to supply particulars, information or answers in an application, knowing it to be false, incorrect or misleading or not believing them to be correct.
4. I am properly authorized to make this application on behalf of the owner and (where applicable) copies of such full relevant Powers of Attorney/Consent are attached hereto.
5. I have been appointed to submit this application on behalf of the owner and it is accepted that correspondence from and notifications by the Municipality in terms of the by-law will be sent only to me as the authorised agent and the owner will regularly consult with the agent in this regard (where applicable).
6. That this submission includes all necessary land use planning applications required to enable the development proposed herein.
7. I confirm that the relevant title deed(s) have been read and that there are no restrictive title deed restrictions, which impact on this application, or alternatively an application for removal/amendment/suspension forms part of this submission.
8. I am aware of the status of the existing bulk services and infrastructure in the subject area and that I am liable for any possible development charges which may be payable as a result of the proposed development.

Applicant's signature:



Date:

18 June 2019

Full name:

Johannes George Vrolijk

Professional capacity:

Professional Town Planner

SACPLAN Reg. Nr:

A/1386/2010

FOR OFFICE USE ONLY

Date received:

--

Received by:

--

Receipt number:

--

Date application complete

--

ANNEXURES

Please do not submit these Annexure exemplars with the application form.

Annexure A: Exemplar of locality plan (consult guidelines for precise requirements)

Annexure B: Application submission checklist

Annexure C: Exemplar of typical layout plan (consult guidelines for precise requirements)

Annexure D: Examples of required documents

ANNEXURE "G": COMPLETED PRE-APPLICATION CONSULTATION FORM

JANVROLIJK



TOWN PLANNER • STADSBEPLANNER

Die Munisipale Bestuurder

Posbus 19

George

6530

Verwys: Ged 1van 255

28 Januarie 2019

Meneer

**VOORAF AANSOEK: VERSKEIE VERGUNNINGSGEBRUIKE: GEDEELTE 1 VAN
DIE PLAAS VOEGHS KRAAL 255**

Hierby aangeheg vind 'n vooraf aansoek vir die vestiging van sekere vergunningsgebruike op 'n gedeelte van Gedeelte 1 van die Plaas Voeghs Kraal 255.

Indien u enige verdere inligting verlang is u welkom om met my te skakel. Ek is verder ook beskikbaar om die vergadering by te woon indien nodig.

By voorbaat dank.


Jan Vrolijk



TEL: 044 873 3011 FAX: 086 510 4383 EMAIL: janvrolijk@vodamail.co.za
CELL: 082 464 7871 PO Box 710 George 6530
OFFICE: Millwood Building corner of York and Victoria Street, George
SACPLAN REG No. A/1386/2010

GEORGE MUNICIPALITY



LAND USE PLANNING PRE-APPLICATION CONSULTATION FORM

PLEASE NOTE:

Pre-application consultation is an advisory session and is required prior to submission of an application for rezoning, consent use, temporary departure and subdivision. It does not in any way pre-empt the outcome of any future application which may be submitted to the Municipality.

PART A: PARTICULARS

Reference number: **Gedeelte 1 van die Plaas Voeghs Kraal Nr 255**

Purpose of consultation: **Bespreking van 'n aansoek om vergunningsgebruik:**

- ❖ **Vyf addisionele wooneenhede**
- ❖ **Function Venue**
- ❖ **Plaasstal**
- ❖ **Toeristefasiliteit ("Country kitchen, geskenkwinkel)**
- ❖ **Kampeerterrein vir 10 tente wat op 'n houtdek ontwikkel sal word.**

Brief proposal: **Vergunningsgebruik aansoek ten einde 'n ontwikkeling soos in die aangehegde dokument uiteengesit op 'n gedeelte van 0.9509 hektaar van die eiendom moontlik te maak.**

Property(ies) description: **Gedeelte 1 van die Plaas Voeghs Kraal Nr 255**

Date: **28 Januarie 2019**

Attendees:

	Name & Surname	Organisation	Contact Number	E-mail
Official	J. Faurie	George Municipality	044 801 9477	jfaurie@george.gov.za
Pre-applicant	Jan Vrolijk	Jan Vrolijk Town Planner / Stadsbeplanner	044 873 3011 082 464 7871	janvrolijk@vodamail.co.za

Documentation provided for discussion:

(Include document reference, document/plan dates and plan numbers where possible and attach to this form)

1. Konsep ontwikkelingsvoorstel dokument wat die volgende insluit:

- ❖ **Omskrywing van ontwikkelingskonsep**
- ❖ **Liggingsplanne/Lugfotos**
- ❖ **Terreinontwikkelingsplan**
- ❖ **Detail gebou uitlegplanne**
- ❖ **Fotos**

2. L G Diagram

3. Titellakte

Has pre-application been undertaken for a Land Development application with the Department of Environmental Affairs & Development Planning (DEA&DP)?

(If so, please provide a copy of the minutes)

YES	NO
-----	----

N.v.t.

Comprehensive overview of proposal:

ONTWIKKELINGSVOORSTEL

Gedeelte 1 van die van die Plaas Voeghs Kraal Nr 255 beskik oor 'n oppervlakte van 808.0766 hektaar.

Die ontwikkelingsvoorstel word in detail in die aangehegde dokument uiteengesit.

In terme van die dokument word daar gemeld dat daar vir 5 addisionele wooneenhede aansoek gedoen word. Slegs twee van die addisionele wooneenhede sal binne die ontwikkelingsterrein (0.9509 hektaar gebied) opgerig word. Dit is die voorneme om die ander 3 addisionele wooneenhede op 'n ander gedeelte van die eiendom op te rig. Die presiese posisie word tans nog bepaal.

AANSOEK

Aansoek sal in terme van artikel 15(2)(o) van die Verordeninge op Grondgebruikbeplanning vir George Munisipaliteit, 2015 gedoen moet word om die volgende vergunningsgebruike op Gedeelte 1 van die van die Plaas Voeghs Kraal Nr 255 te vestig ooreenkomstig Terreinontwikkelingsplan 0194-SDP-02 gedateer Oct 2018:

- ❖ **Vyf addisionele wooneenhede** ✓
- ❖ **Function Venue** ✓
- ❖ ~~Plaassta~~ ✓ (Kan verrat word as deel van toeristefasiliteit) *
- ❖ **Toeristefasiliteit ("Country kitchen, geskenkwinkel)**
- ❖ ~~Kampeerterein vir 10 tente wat op 'n houtdek ontwikkel sal word.~~

* 'Spot zoning' vir Oord om die 10 teite (permanente strukture) te akkommodeer

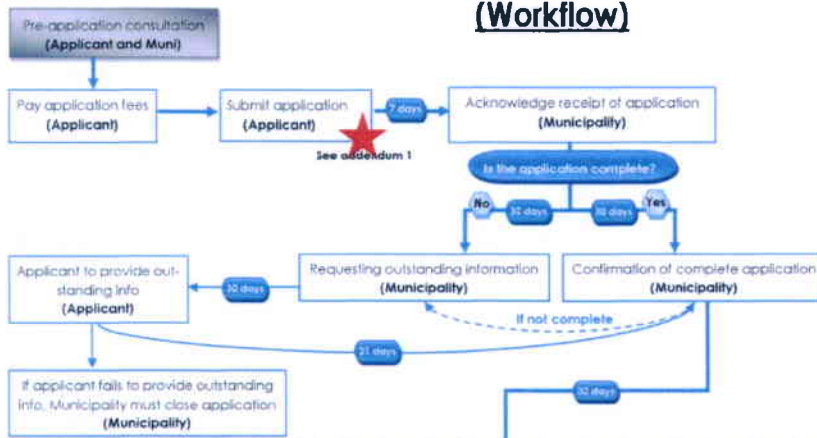
PART B: APPLICATION PROCESS

(WILL FULLY APPLY ONLY ONCE LUPA REGULATIONS ARE IN FORCE)

Draft By-Law on Municipal Land Use Planning

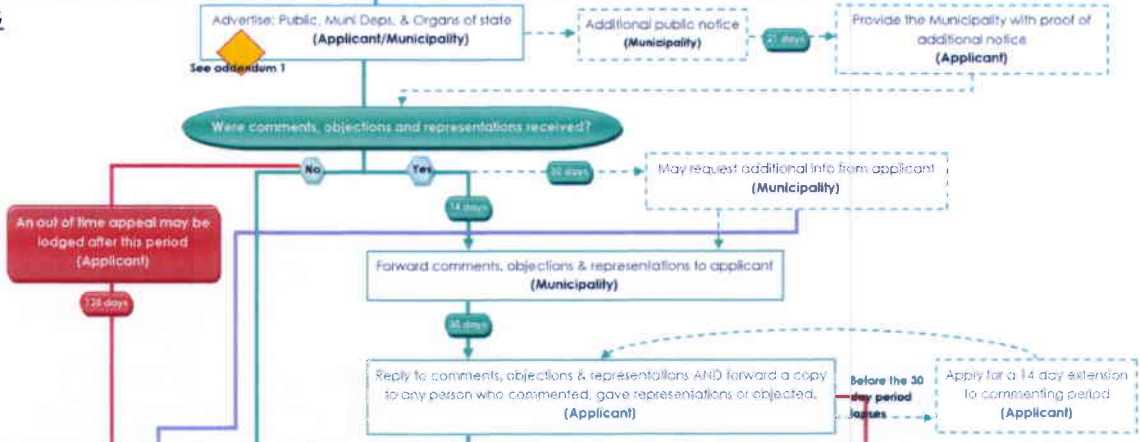
(Workflow)

SUBMISSION



- Types of applications that can be submitted in terms of Section 15 (2)**
- (a) Rezoning of land
 - (b) Permanent departure
 - (c) Temporary departure
 - (d) Subdivision of land
 - (e) Consolidation of land
 - (f) Amendment, suspension or removal of restrictive conditions
 - (g) Permission required in terms of the zoning schema
 - (h) Amendment, deletion or imposition of condition in respect of an approval
 - (i) Extension of validity period of an approval
 - (j) Approval of an overlay zone
 - (k) Phasing, amendment or cancellation of a subdivision plan or part thereof
 - (l) Permission required in terms of condition of approval
 - (m) Determination of zoning
 - (n) Closure of public place or part thereof
 - (o) Consent use
 - (p) Occasional use

ADVERTISING

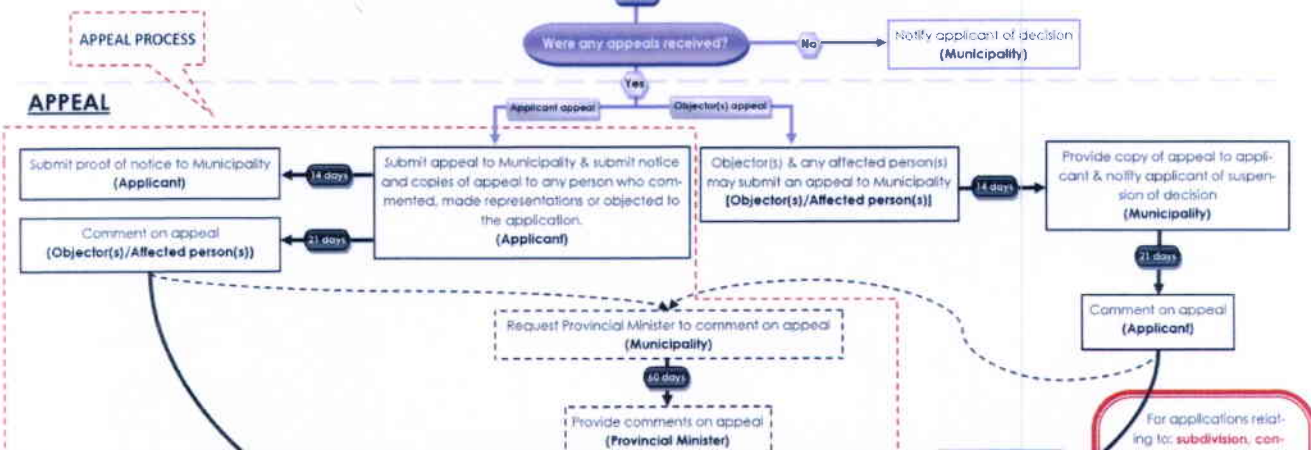


ASSESSMENT

DECISION



APPEAL



PART C: QUESTIONNAIRES



For applications relating to: **subdivision, con-**
restrictive conditions, refer to the respective addendums

**SECTION A:
DETERMINATION OF APPLICATION TYPES, PRESCRIBED NOTICE AND ADVERTISEMENT
PROCEDURES**

Tick if relevant		What land use planning applications are required?	Application fees payable
<input checked="" type="checkbox"/>	2(a)	a rezoning of land;	R
	2(b)	A rezoning to subdivisional area;	R
	2(c)	a temporary departure to use land for a purpose not provided for in the zoning scheme granted on a temporary basis;	R
	2(d)	a permanent departure from the development parameters of the zoning scheme;	R
	2(e)	a subdivision of land that is not exempted in terms of section 25, including the registration of a servitude or lease agreement;	R
	2(f)	an amendment, suspension or removal of restrictive conditions in respect of a land unit;	R
	2(g)	an amendment, deletion or imposition of conditions in respect of an existing approval;	R
	2(h)	an extension of the validity period of an approval;	R
<input checked="" type="checkbox"/>	2(i)	a consent use in terms of the relevant zoning scheme regulations;	R
	2(j)	Amendment / cancellation of a general plan;	R
	2(k)	a phasing, amendment or cancellation of a plan of subdivision or a part thereof;	R
	2(l)	a contravention levy;	R
	2(m)	A determination of a zoning;	R
	2(n)	A closure of a public place or part thereof;	R
	2(o)	an occasional use of land;	R
Tick if relevant		What prescribed notice and advertisement procedures will be required?	Advertising fees payable
<input checked="" type="checkbox"/>	N	Serving of notices (i.e. registered letters etc.)	R
<input checked="" type="checkbox"/>	N	Publication of notices (i.e. Provincial Gazette, Local Newspaper(s) etc.)	R
<input type="checkbox"/>	N	Additional publication of notices (i.e. Site notice, public meeting, local radio, website, letters of consent etc.)	R
<input type="checkbox"/>	N	Placing of final notice (i.e. Provincial Gazette etc.)	R
TOTAL APPLICATION FEE*:			R

PLEASE NOTE: * Application fees are estimated on the information discussed and are subject to change with submission of the formal application.

SECTION B:

PROVISIONS IN TERMS OF THE RELEVANT PLANNING LEGISLATION / POLICIES / GUIDELINES

QUESTIONS REGARDING PLANNING POLICY CONTEXT	YES	NO	TO BE DETERMINED	COMMENT
Is any Municipal Integrated Development Plan (IDP)/Spatial Development Framework (SDF) and/or any other Municipal policies/guidelines applicable? If yes, is the proposal in line with the aforementioned documentation/plans?	Ja		George Ruimtelike Ontwikkelingsraamwerk, 2013 (GSDF).	Voorstel in lyn met die GSDF
Any applicable restrictive condition(s) prohibiting the proposal? If yes, is/are the condition(s) in favour of a third party(ies)? [List condition numbers and third party(ies)]		Nee	N.v.t	N.v.t
Any other Municipal by-law that may be relevant to application? (If yes, specify)		Nee	N.v.t	N.v.t
<p>Zoning Scheme Regulation considerations: Which zoning scheme regulations apply to this site? George Geïntegreerde Soneringskema Verordening, 2017 What is the current zoning of the property? Landbousone I What is the proposed zoning of the property? Landbousone I / Oordseone Does the proposal fall within the provisions/parameters of the zoning scheme? Ja Are additional applications required to deviate from the zoning scheme? (if yes, specify) Geen</p>				

QUESTIONS REGARDING OTHER PLANNING CONSIDERATIONS	YES	NO	TO BE DETERMINED	COMMENT
Is the proposal in line with the Provincial Spatial Development Framework (PSDF) and/or any other Provincial bylaws/policies/guidelines/documents?	Ja		N.v.t	N.v.t

Are any regional/district spatial plans relevant? If yes, is the proposal in line with the document/plans?		Nee	N.v.t	N.v.t
--	--	------------	--------------	--------------

SECTION C:

CONSENT / COMMENT REQUIRED FROM OTHER ORGANS OF STATE

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
Is/was the property(ies) utilised for agricultural purposes?		Nee		Western Cape Provincial Department of Agriculture
Will the proposal require approval in terms of Subdivision of Agricultural Land Act, 1970 (Act 70 of 1970)?		Nee		National Department of Agriculture, Forestry and Fisheries (DAFF)
Will the proposal trigger a listed activity in terms of National Environmental Management Act, 1998 (Act 107 of 1998) (NEMA)?			X	Western Cape Provincial Department of Environmental Affairs & Development Planning (DEA&DP)
Will the proposal require authorisation in terms of Specific Environmental Management Act(s) (SEMA)? (National Environmental Management: Protected Areas Act, 2003 (Act 57 of 2003) (NEM:PAA) / National Environmental Management: Biodiversity Act, 2004 (Act 10 of 2004) (NEM:BA) / National Environmental Management: Air Quality Act, 2004 (Act 39 of 2004) (NEM:AQA) / National Environmental Management: Integrated Coastal Management Act, 2008 (Act 24 of 2008) (NEM:ICM) / National Environmental Management: Waste Act, 2008 (Act 59 of 2008) (NEM:WA) (strikethrough irrelevant)			X	National Department of Environmental Affairs (DEA) & DEA&DP
Will the proposal require authorisation in terms of the National Water Act, 1998 (Act 36 of 1998)?		Nee		National Department of Water & Sanitation (DWS)
Will the proposal trigger a listed activity in terms of the National Heritage Resources Act, 1999 (Act 25 of 1999)?			X	South African Heritage Resources Agency (SAHRA) & Heritage Western Cape (HWC)
Will the proposal have an impact on any National or Provincial roads?			X	National Department of Transport / South Africa National Roads Agency Ltd. (SANRAL) & Western Cape Provincial

QUESTIONS REGARDING CONSENT / COMMENT REQUIRED	YES	NO	TO BE DETERMINED	OBTAIN APPROVAL / CONSENT / COMMENT FROM:
				Department of Transport and Public Works (DTPW)
Will the proposal trigger a listed activity in terms of the Occupational Health and Safety Act, 1993 (Act 85 of 1993): Major Hazard Installations Regulations		Nee		National Department of Labour (DL)
Will the proposal affect any Eskom owned land and/or servitudes?		Nee		Eskom
Will the proposal affect any Telkom owned land and/or servitudes?		Nee		Telkom
Will the proposal affect any Transnet owned land and/or servitudes?		Nee		Transnet
Is the property subject to a land / restitution claims?		Nee		National Department of Rural Development & Land Reform
Will the proposal require comments from SANParks and/or Cape Nature?	Ja			SANParks / Cape Nature
Is the property subject to any existing mineral rights?		Nee		National Department of Mineral Resources
Does the proposal lead to densification to such an extent that the number of schools, healthcare facilities, libraries, safety services, etc. In the area may be impacted on? (strikethrough irrelevant)		Nee		Western Cape Provincial Departments of Cultural Affairs & Sport (DCAS), Education, Social Development, Health and Community Safety

SECTION D:

SERVICE REQUIREMENTS

DOES THE PROPOSAL REQUIRE THE FOLLOWING ADDITIONAL INFRASTRUCTURE / SERVICES?	YES	NO	TO BE DETERMINED	OBTAIN COMMENT FROM: (list internal department)
Electricity supply:		Nee		Directorate: Electro-technical Services
Water supply:		Nee		Directorate: Civil Engineering Services
Sewerage and waste water:		Nee		Directorate: Civil Engineering Services
Stormwater:		Nee		Directorate: Civil Engineering Services
Road network:		Nee		Directorate: Civil Engineering Services
Telecommunication services:		Nee		

Other services required? Vuilisverwydering		Nee		
Development charges:	Ja			

PART D: COPIES OF PLANS / DOCUMENTS TO BE SUBMITTED AS PART OF THE APPLICATION

COMPULSORY INFORMATION REQUIRED:

Y	N	Power of Attorney / Owner's consent if applicant is not owner (if applicable)	Y	N	S.G. noting sheet extract / Erf diagram / General Plan
Y	N	Motivation report / letter	Y	N	Full copy of the Title Deed
Y	N	Locality Plan	Y	N	Site Layout Plan
Y	N	Proof of payment of fees	Y	N	Bondholder's consent

MINIMUM AND ADDITIONAL REQUIREMENTS:

<input checked="" type="checkbox"/>	N	Site Development Plan	Y	N	Conveyancer's Certificate
Y	N	Land Use Plan	Y	N	Proposed Zoning plan
Y	N	Phasing Plan	Y	N	Consolidation Plan
Y	N	Abutting owner's consent	Y	N	Landscaping / Tree Plan
Y	N	Proposed Subdivision Plan (including street names and numbers)	Y	N	Copy of original approval letter
Y	N	Services Report or indication of all municipal services / registered servitudes	Y	N	Home Owners' Association consent
Y	N	Copy of Environmental Impact Assessment (EIA) / Heritage Impact Assessment (HIA) / Traffic Impact Assessment (TIA) / Traffic Impact Statement (TIS) / Major Hazard Impact Assessment (MHIA) / Environmental Authorisation (EA) / Record of Decision (ROD) (strikethrough irrelevant)	Y	N	1 : 50 / 1:100 Flood line determination (plan / report)
Y	N	Other (specify)	Y	N	Required number of documentation copies

PART E: DISCUSSION

- * 'Spot Zoning' vir oord vir die permanente tente as toerisme akkommodasie
- * Kommentare sal aangera met word vanaf
 - DEA DP (Beplanning)
 - Departement Landbou (Wes Kaap)
 - Cape Nature
- * Oord sone maak voorsiening vir 'n oord winkel wat dalk die 'Plaaswinkel' kan vervang as 'n vergunning.

PART F: SUMMARY / WAY FORWARD

Mag aansoek indien.

OFFICIAL:
(FULL NAME)

J. Fourie

PRE-APPLICANT: **Jan Vrolijk**
(FULL NAME)

SIGNED:



SIGNED:



DATE:

01/02/2019

DATE: **28 Januarie 2019**

ANNEXURE "H": TITLE DEED

Opgestel deur my,

TRANSPORTBESORGER
WEHMEYER N J

FEE
R. 500,00

Claughton & Wehmeyer
Posbus 242/289 Hoofweg 39
GRABOUW
7160

DATA / CAPTURE
02 JUN 2006
VERWEY T

T 000037160 / 2006

AKTE VAN TRANSPORT

HIERMEE WORD BEKEND GEMAAK

DAT ~~NIGOLAAS JOHANNES WEHMEYER~~ MICHELE MARAIS

voor my die REGISTRATEUR VAN AKTES verskyn het te KAAPSTAD, die genoemde
Komparant synde behoorlik daartoe gemagtig deur 'n Volmag aan hom verleen deur

PATRICK ANDREW JOSEPH ELS

Identiteitsnommer: 560812 5029 08 5

en

MELODIE ELS

Identiteitsnommer: 580211 0020 08 2

Getroud binne gemeenskap van goed met mekaar

gedateer 31 Maart 2006

en geteken te UNIONDALE

(DeedOfTransferConventional_A.rtf) Vorm E

DATA / VERIFY
12 JUN 2006
VAN WYK Z

LegalSuite / Claughton & Wehmeyer



EN genoemde Komparant het verklaar dat sy prinsipaal, op 3 Maart 2006, waarlik en wettiglik verkoop by Privaat ooreenkoms, en dat hy, in sy voorgenoemde hoedanigheid hierby sedgeer en transporteer aan en ten gunste van

CLIFTON DUNES INVESTMENTS 342 (PROPRIETARY) LIMITED
Nr. 2005/037594/07

hul Opvolgers in Titel of Regverkrygendes in volkome en vrye eiendom:

1. DIE PLAAS LOWER KWAAI RIVER NR. 272

In die Eden Distriksmunisipaliteit
 Afdeling Uniondale
 Provinsie Wes-Kaap

GROOT: 900, 5577 (NEGE HONDERD KOMMA VYF VYF SEWE SEWE) Hektaar

AANVANKLIK GEREGISTREER kragtens Sertifikaat van Geregistreeerde Staatstitel Nr. T31396/1993 met Kaart Nr. 3572/1880 wat daarop betrekking het en GEHOU kragtens Transportakte Nr. T99657/2001.

- A. ONDERHEWIG aan die voorbehoud van alle regte op edelgesteentes, edelmetale, onedele minerale en aardolie op of onder die grond omskryf in die Wet op Mynregte 1967 (Wet 20 van 1967) ten gunste van die Staat.
- B. ONDERHEWIG VERDER aan die volgende voorwaarde waarna verwys word in Transportakte Nr. T99657/2001 opgelê deur die Republiek van Suid-Afrika in terme van Artikel 2(2A) van Wet 48 van 1961, welke magtiging weggeleë is as BC 67358\95 naamlik: Dat die eiendom hiermee getranspoteer en

GEDEELTE 1 (VOOR DE POORT) van die plaas **VOEGHS KRAAL NR. 255**, geleë in die Administratiewe Distrik van Uniondale, Provinsie van die Wes-Kaap.

GROOT 808, 0766 (Agthonderd en Agt komma nul sewe ses ses) Hektaar

GEHOU kragtens Transportakte Nr. T56945\1990 nie afsonderlik van mekaar vervreem mag word nie, sonder die voorafverkreë skriftelike toestemming van die Minister van Openbare Werke, gegee op sodanige voorwaarde(s) as wat die minister wenslik mag ag om te stel. Hierdie voorwaarde word in elke latere transportakte van die grond opgeneem.

VERDER ONDERHEWIG aan sodanige verdere voorwaardes soos gemeld in genoemde Aktes.



WESHALWE die Komparant afstand doen van al die regte en titeel wat die gesegde **TRANSPORTGEWERS** voorheen op genoemde eiendom gehad het en gevolglik ook erken dat voormelde Transportgewers geheel en al van die besit daarvan onthef en nie meer daartoe geregtig is nie, en dat, kragtens hierdie akte, bogenoemde **TRANSPORTNEMER**, hul Opvolgers in Titel of Regverkrygendes tans en voortaan daartoe geregtig is, ooreenkomstig plaaslike gebruik, behoudens die regte van die Staat en erken hy ten slotte dat die koopprys van die eiendom wat hiermee getranspoteer word die bedrag van **R1 650 000.00 (EEN MILJOEN SES HONDERD EN VYFTIG DUISEND RAND)** is.

TEN BEWYSE WAARVAN EK, die genoemde Registrateur van Aktes, tesame met die Komparant hierdie Akte onderteken en dit met die Ampseël bekragtig het.

ALDUS GEDOEN EN VERLY op die kantoor van die REGISTRATEUR VAN AKTES te **KAAPSTAD** op **30 Mei 2006**

In my teenwoordigheid

Registrateur van Aktes



q.q. Handtekening van komparant

ANNEXURE "I": POWER OF ATTORNEY

POWER OF ATTORNEY

I, the undersigned

Marieta Brauer

as the Sole Shareholder of

Clifton Dunes Investments 342 (PTY) Ltd Registration Number: 2005/037594/07

do hereby appoint Jan Vrolijk Town Planner/Stadsbeplanner to prepare, sign and submit the following applications to the George Municipality

An application in terms of Section 15(2)(o) of the Land Use Planning By-Law for the George Municipality, 2015 for the consent of the George Municipality to allow for the following consent uses on a portion of Portion 1 of the Farm Voeghs Kraal No 255

- *guesthouse consisting of two inside and two outside loose standing guestrooms;*
- *three additional dwelling units which will be used for overnight accommodation purposes;*
and
- *a tourist facility (restaurant).*

Signed at Pretoria on 18th June 2021.



Marieta Brauer

ANNEXURE "J": COMPANY DISCLOSURE CERTIFICATE

ANNEXURE "K": CONVEYANCER CERTIFICATE



Bruwer & Kolele

Attorneys | Conveyancers

Docex 12
George
Tel: 044 873 3539

8 Millwood Building
C/o York & Victoria Streets
George
6529

Ons Verw /Our Ref
FS BRUWER

U Verw /Your Ref
Ged1/255

Datum/Date
22 November 2019

AKTEBESORGERSERTIFIKAAT

Hiermee bevestig ek,

FRANCOIS SCHOLTZ BRUWER, aktebesorger werksaam te Bruwer & Kolele Prokureurs, George, Wes-Kaap Provinsie

dat die volgende eiendom:

Gedeelte 1 van die Plaas Voeghs Kraal Nr. 255, geleë in die Administratiewe Distrik van Uniondale PROVINSIE WES-KAAP

GROOT: 808,0766 Hektaar (AGT NUL AGT komma NUL SEWE SES SES)

GEHOU KRAGTENS Akte van Transport Nr. T37160/2006

Daar is geen voorwaarde in die Titellakte van die eiendom wat 'n beperking plaas op die ontwikkeling van die eiendom as 'n Oord wat met sekere toeristefasiliteite aangevul word nie.

GETEKEN TE GEORGE OP HIERDIE 22ste DAG VAN NOVEMBER 2019.

FS BRUWER

*Directors - FS Bruwer ((BA LLB - Stellenbosch, Dip. Insolvency Law); NS Kolele (LLB - NMMU);
Administrative Executive - F Botha; Senior Paralegal - L Erasmus; Paralegal - L le Grange; Conveyancing
Secretaries - C Murphy; C Venter; Administrator - B Jacobs; Messenger - S Nelson.*

Registration number - 2014/062623/21

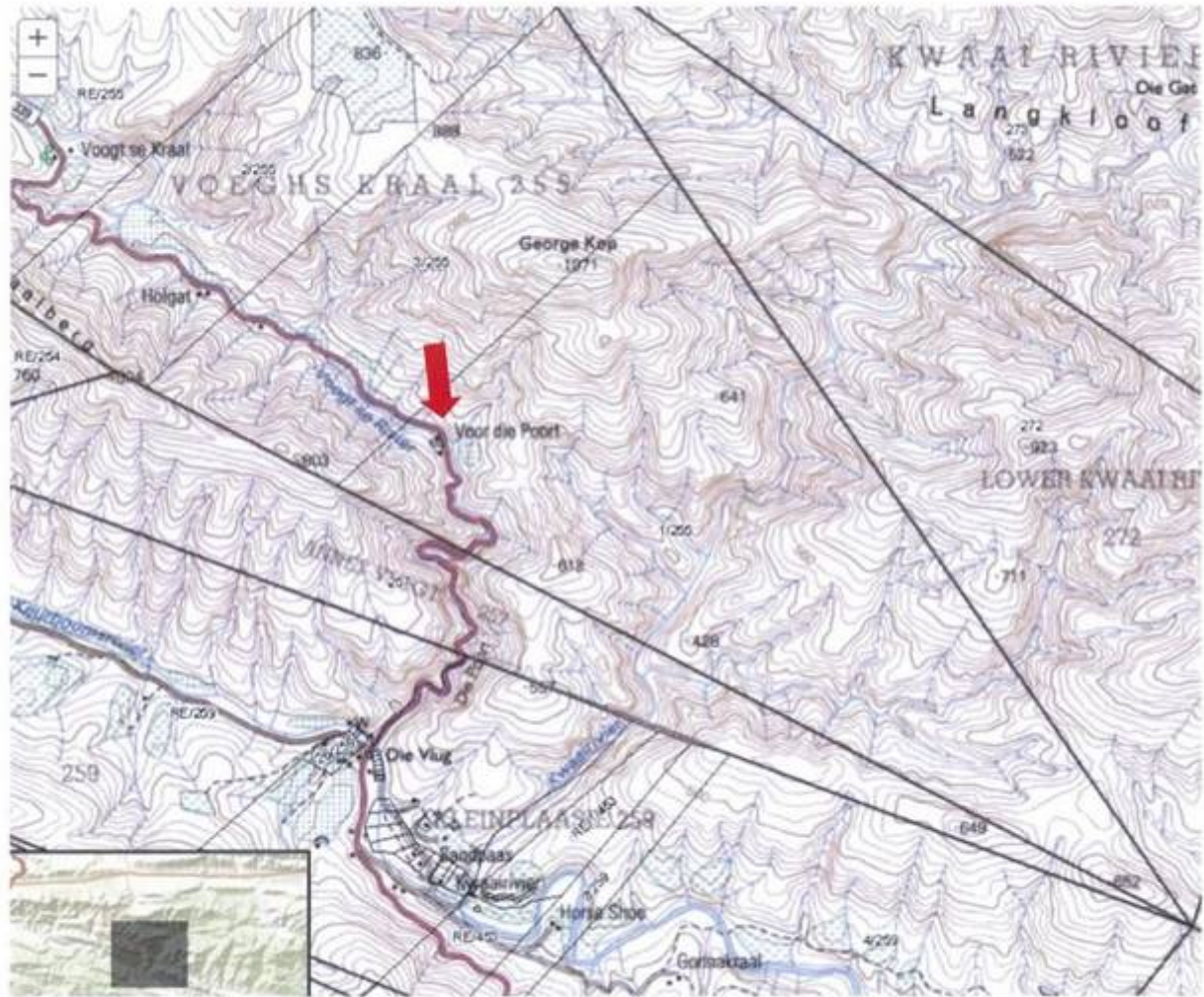
ANNEXURE "L": AERIAL PHOTO

LOCALITY OF PROPOSED DEVELOPMENT



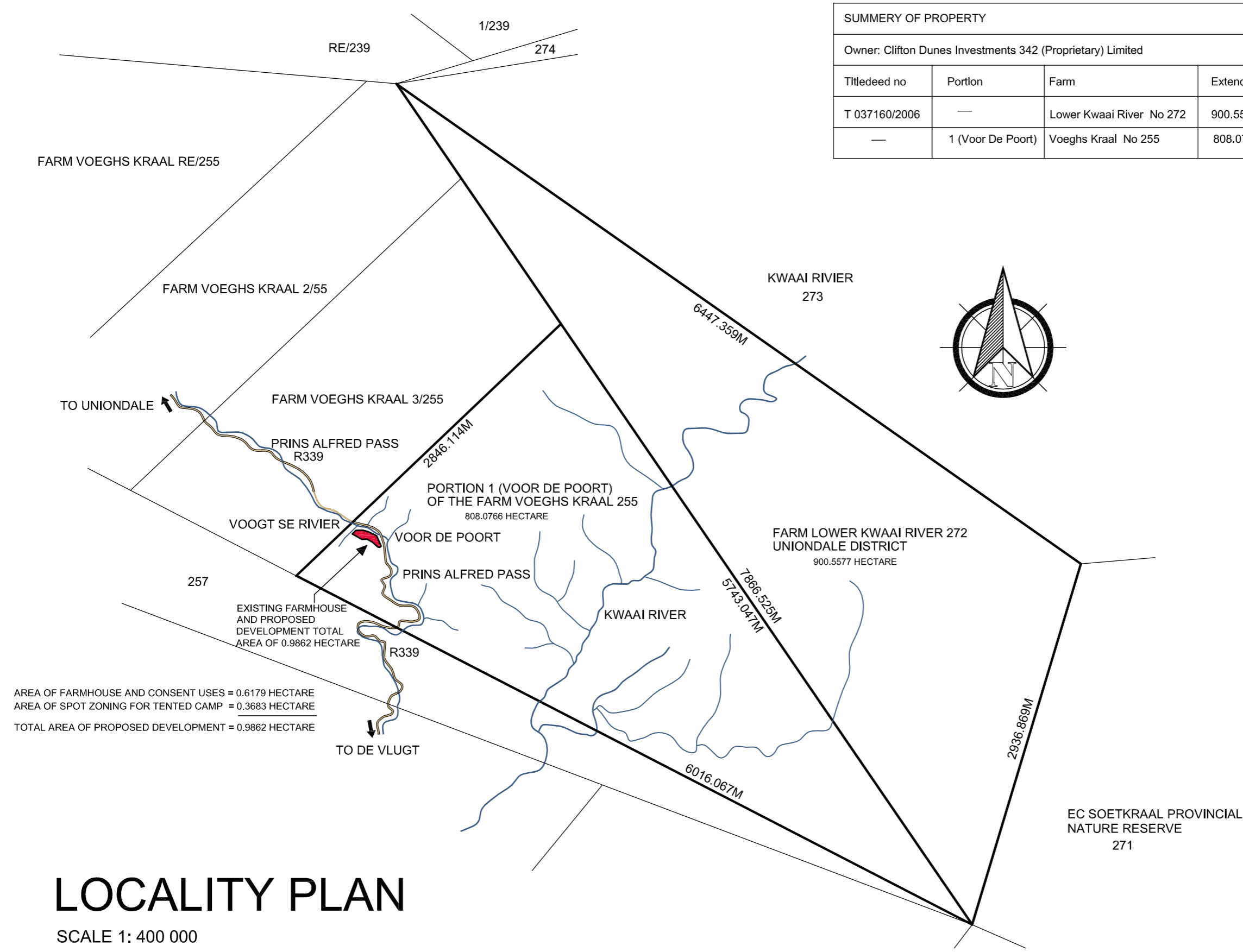
ANNEXURE "M": LOCALITY PLANS

TOPOCADASTRAL MAP



TOPOCADASTRAL MAP OF VOEGHS KRAAL AND VOOR DE POORT
TERRESTRIAL AND RIVERS: VOOGT SE RIVIER, KWAAL RIVER AND KEURBOOMS RIVER

SUMMARY OF PROPERTY					
Owner: Clifton Dunes Investments 342 (Proprietary) Limited					
Titledeed no	Portion	Farm	Extend (ha)	SG no	Notes
T 037160/2006	—	Lower Kwaai River No 272	900.5577	2572/1880	The two farms may not be sold separately.
—	1 (Voor De Poort)	Voeghs Kraal No 255	808.0766	4893/1920	



AREA OF FARMHOUSE AND CONSENT USES = 0.6179 HECTARE
 AREA OF SPOT ZONING FOR TENTED CAMP = 0.3683 HECTARE
 TOTAL AREA OF PROPOSED DEVELOPMENT = 0.9862 HECTARE

LOCALITY PLAN

SCALE 1: 400 000

Principal Paula Serfontein Bella Casa Architectural Services 62A DAWN DRIVE NORTHCLIFF 2195 SACAP PrSArchT ST0348 CELL 083 556 7325 FAX 086 726 9745 paulaserfontein@gmail.com	Consulting steven basson architecture + interior planning 8 SUMMERFIELD VILLAGE WIERDA STREET EAST SANDOWN 2196 SACAP PrSArchT ST0943 TEL: (027) (011) 884-1884 CELL 083 729 9139 e-mail: sbass@icon.co.za	Client CLIFTON DUNES INVESTMENTS 342 (PROPRIETARY) LIMITED	Drawing Title LOCALITY PLAN	Scale 1: 400 000	Date FEB.2019	JOB No. 0194
		Project Title CONCEPT PLAN FOR PROPOSED APPLICATION FOR CONCENT USES AND SPOT ZONING ON PORTION 1 (VOOR DE POORT) OF THE FARM VOEGHS KRAAL NO 255, EDEN DISTRICT, UNIONDALE MUNICIPAL	Designed Paula S	Drawn Paula S	DWG No. 0194 - LP -01	

ANNEXURE "N": SURVEYOR GENERAL DIAGRAM

The numerical data of this Diagram are

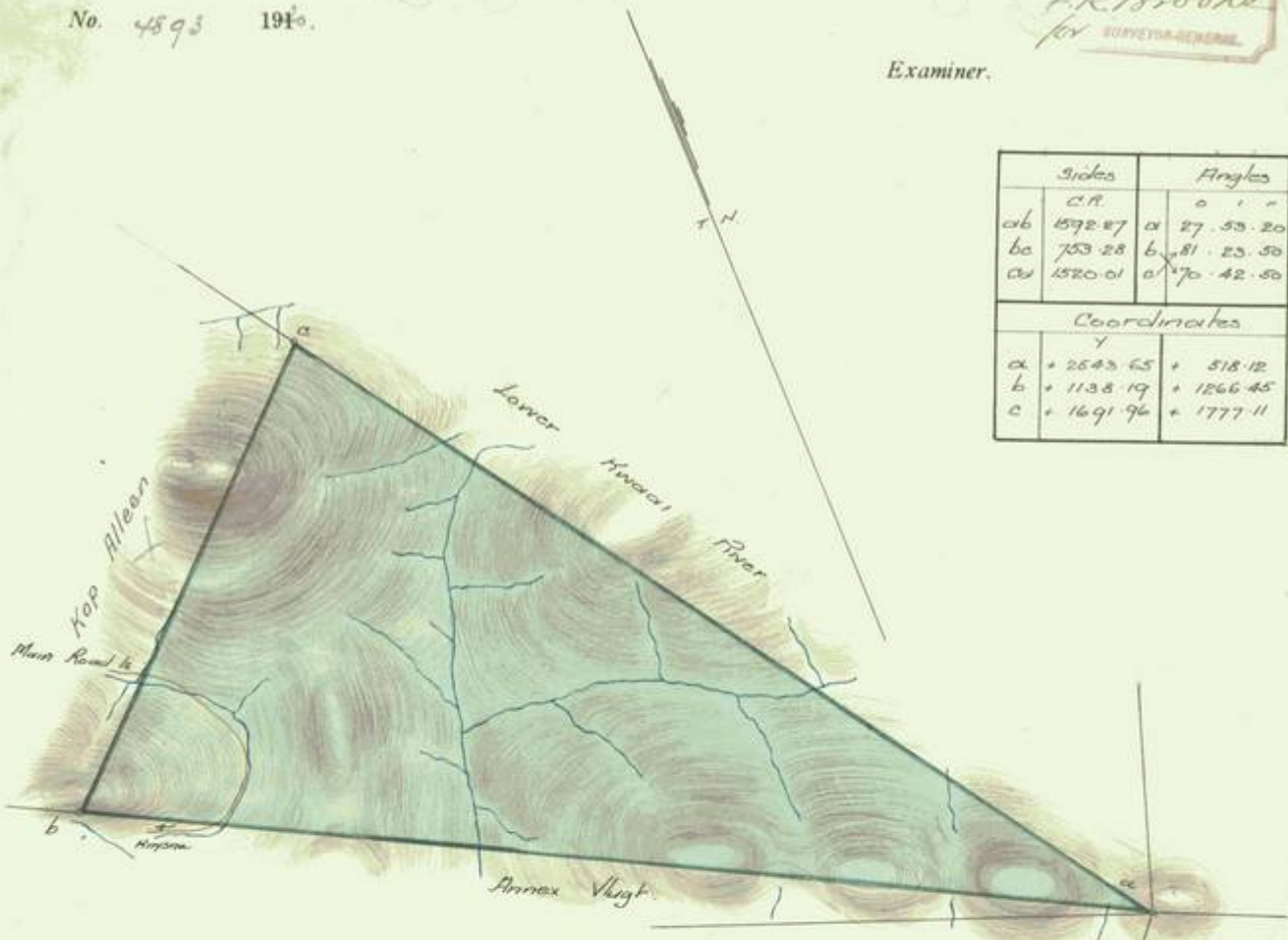
consistent.

No. 4593 1910.

5 JAN 1921
F.R. Brooke
for SURVEYOR-GENERAL

Examiner.

Sides		Angles	
ca	1572.27	α	27.53.20
bc	753.28	β	81.23.50
cb	1320.01	γ	70.42.50
Coordinates			
	x	y	
α	+ 2543.65	+ 518.12	
β	+ 1138.19	+ 1266.45	
γ	+ 1691.96	+ 1777.11	



Portion 1 (Voor De Poort)

(a portion of Portion _____) of the farm

Voeghs Kraal No. 255
Uniondale

Scale 200 Cape Rods = 1 Inch.

The above diagram lettered a b c. represents
943 morgen 257 square rods 0 square feet of land situate in the Field-Cornetcy of Avenhuur
Division of Uniondale being "VOOR-DE-POORT" portion of
Voeghs Kraal granted in Freehold to F. Collison on the
1st June 1842

Bounded:-

- NE by Lower Kwanaal River
- SW - Annex Vlucht.
- NW - Kop-Alleen

I certify that this diagram belongs to the Transfer issued this day in favour of
Johannes Cornelis van Rooyen
Deeds Office,

191

3. 4. 1929: 6714

Surveyed and beaconed by me according to regulations.

N/S 4177

W. J. S. B. B. B.

Government Land Surveyor.
Oct. 1920

25511

WU

C B S

The numerical data of this Diagram are

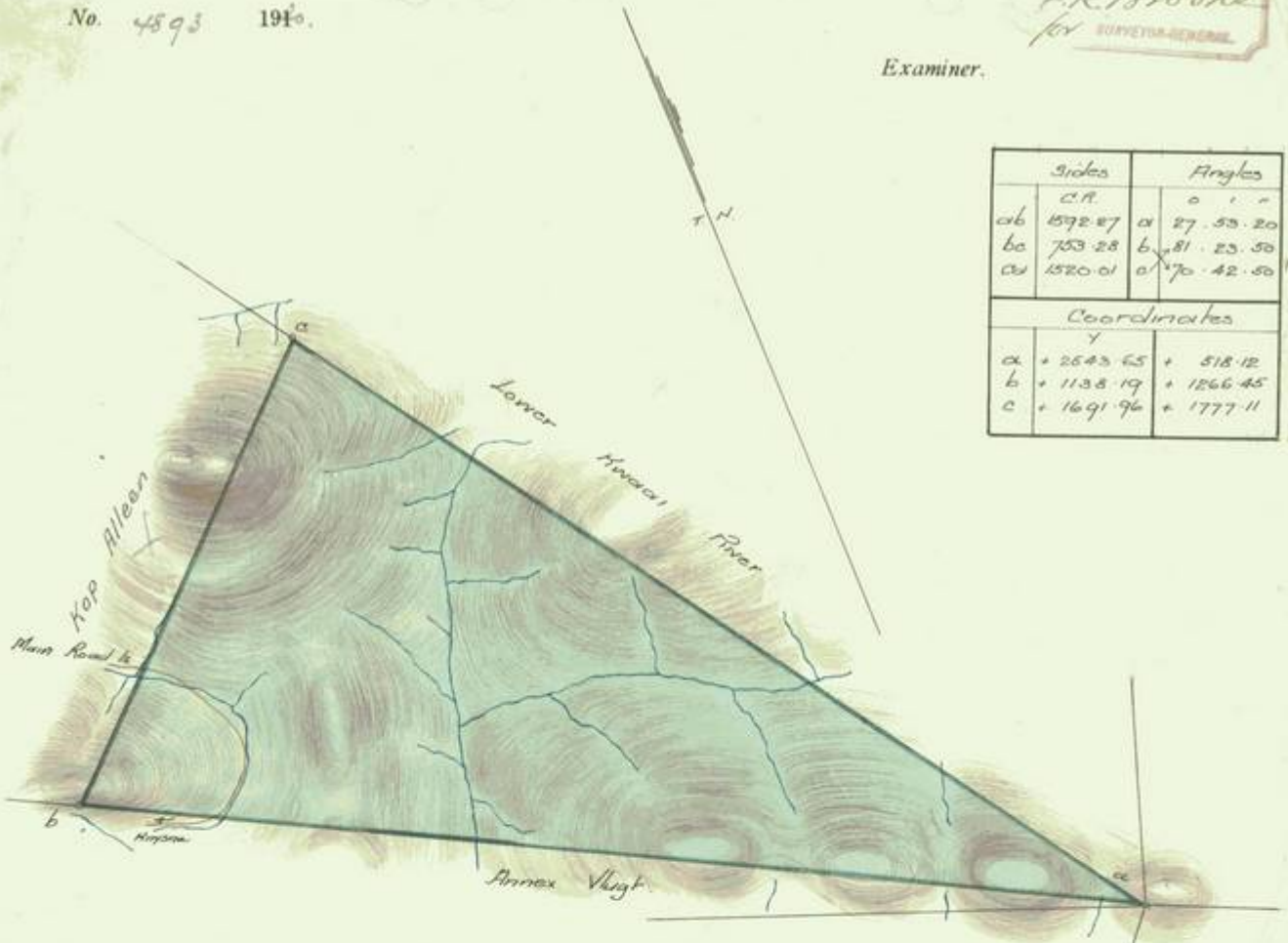
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3. 4. 1929: 6714

Surveyed and beaconed by me according to regulations.

N/S 4177

W. J. S. B. B. B.

Government Land Surveyor. Oct. 1920

c B g

255/1

ANNEXURE "O": LETTER FROM WESTERN CAPE GOVERNMENT: TRANSPORT AND PUBLIC WORKS



REFERENCE : TPW/CFS/RP/LUD/REZ/SUB-12/121 (Job 27039)

ENQUIRIES : Mr L Martin

DATE : 2 March 2020

The Municipal Manager
George Municipality
PO Box 19
GEORGE
6530

Attention: Ms J Fourie

Dear Madam

**REZONING, CONSENT USES AND SITE DEVELOPMENT PLAN: PORTION 1 OF THE FARM VOEGBS KRAAL
255**

1. The following refers:
 - 1.1 Jan Vrolijk Town Planner's letter Ptn 1 of 255 dated 12 June 2019 to the District Roads Engineer, Oudtshoorn.
 - 1.2 Jan Vrolijk Town Planner's Ptn 1 of 255 dated 2 December 2019 to the District Roads Engineer, Oudtshoorn.
2. This Branch acknowledges that an operating speed of only 50km/h is achievable within the historic pass where this farm is located; which is why this Branch assesses this proposal in accordance to that standard for passenger vehicles; which is considered to be the primary vehicle type for this development.
3. This Branch offers no objection to this application, provided that:
 - 3.1 The existing access off Trunk Road 59 Section 1 at ±km53.55 LHS remains as the only approved access in favour of this zoning plan (Portion A - Resort Zone & Portion B – Consent Uses); and is further subject to:

- 3.1.1 It being constructed with a hard surface of a permanent nature, such as asphalt and / or brick paving and / or concrete outside the road prism, to ensure optimum traction along the steep access road.
- 3.1.2 Clearing (daylighting) all vegetation and obstacles, in conjunction with and to the instructions of the office of the District Roads Engineer, to such an extent that the optimum sight distances are achieved for passenger cars at an operating speed of 50 km/h.
- 3.2 Other accesses, required for agricultural purposes, off Trunk Road 59 Section 1 are negotiated with the office of the District Roads Engineer (Attention: Mr S Schoeman) and that information carried over to this Directorate for an approval.

Yours faithfully



SW CARSTENS

For CHIEF DIRECTOR: ROAD NETWORK MANAGEMENT

ENDORSEMENTS

1. George Municipality

Attention: Ms J Fourie (email: jfourie@george.gov.za)

2. Jan Vrolijk Town Planner

Attention: Mr J Vrolijk (email: janvrolijk@vodamail.co.za)

3. District Roads Engineer
Oudtshoorn

4. Mr SW Carstens (email)

5. Mr E Burger (email)